



CITY FLAG  
DESIGNED BY  
FREDERICK L. LANGE  
JULY 6, 1964

**CITY COUNCIL AGENDA  
CITY OF BELLEVILLE, IL  
SEPTEMBER 18, 2017  
AT 7:00 P.M.**

**1. CALL TO ORDER BY MAYOR AND EXPLANATION OF DISASTER PROCEDURES**

**REMINDER: SINCE THE MEETINGS ARE BEING VIDEOTAPED IT IS IMPORTANT THAT EVERYONE SPEAK DIRECTLY INTO A MICROPHONE WHEN SPEAKING.**

**2. ROLL CALL ALDERMEN**

**3. ROLL CALL DEPARTMENT HEADS**

**4. PLEDGE OF ALLEGIANCE**

**5. PUBLIC HEARING**

**6. PUBLIC PARTICIPATION (2-3 MINUTES PER PERSON) - See back page for rules.**

**7. PRESENTATIONS, RECOGNITIONS & APPOINTMENTS**

**8. APPROVAL OF MINUTES**

8-A. City Council Meeting - September 5, 2017.

**9. CLAIMS, PAYROLL AND DISBURSEMENTS**

9-A. Motion to approve claims and disbursements in the amount of **\$3,046,941.51** and payroll in the amount of **\$840,212.54**.

**10. REPORTS**

**11. ORAL REPORTS FROM STANDING COMMITTEES, SPECIAL COMMITTEES AND ANY OTHER ORAL REPORTS FROM THE ELECTED OFFICIALS OR STAFF**

11-A. MOTIONS FROM **FINANCE COMMITTEE:**

11-A(1). Motion to approve purchase of 3 refurbished trash trucks for \$148,050 from Elliott Equipment Company.

11-A(2). Motion to approve using Gilmore & Bell as rebate analyst for Frank Scott Parkway bonds arbitrage rebate calculations and filings at a cost of \$4,500.

11-A(3). Motion to approve extension of 0.25% home rule sales tax with no sunset date.

11-B. MOTIONS FROM **PLANNING COMMISSION:**

11-B(1). Motion to approve the Sketch Plat for **Marco Plaza Glenwood Equities** for an .8 acre parcel located at the intersection of northeast corner of Sullivan Drive and Illinois Route 161. (2391 W. State Rte. 161; Parcel: 08-09.0-300-004) located in a C-2 Heavy Commercial Zoning District.

11-B(2). Motion to approve the Preliminary Plat for **Marco Plaza /Glenwood Equities:** for an .8 acre parcel located at the intersection of northeast corner of Sullivan Drive and Illinois Route 161. (2391 W. State Rte. 161; Parcel: 08-09.0-300-004) located in a C-2 Heavy Commercial Zoning District.

11-B(3). Motion to approve the Site Plan, Landscape Plan, and Architectural Elevations for **Dollar General/Glenwood Equities:** for an .8 acre parcel located at the intersection of northeast corner of

Sullivan Drive and Illinois Route 161. (2391 W. State Rte. 161; Parcel: 08-09.0-300-004) located in a C-2 Heavy Commercial Zoning District with the following stipulations. *1. The plans from August 8, 2017 be submitted to City staff. 2. The use of the Dollar General structural materials or something similar, to be used for the trash enclosure.*

11-C. **MOTIONS FROM ECONOMIC DEVELOPMENT & ANNEXATION COMMITTEE:**

11-C(1). Motion to approve the Development Agreement with **Escape 618** for the remodeling at 102 East Main St.

11-C(2). Motion to approve the Development Agreement with **SonomaCap RE Fund III, LLC** for the redevelopment of 8512 West Main St. and 7009 West Main Street.

11-D. **MOTION FROM ORDINANCE AND LEGAL REVIEW COMMITTEE:**

11-D(1). Motion to revise Ordinance 8060-2017 Residential Refuse Collection Fee to reflect the specific language in regards to place of residence.

11-E. **MOTION FROM TRAFFIC COMMITTEE:**

11-E(1). Motion to approve no parking signs on East Side of South 38th Street (186 feet from West Main).

11-F. **MOTIONS FROM ADMINISTRATION:**

11-F(1). Motion to accept PSC's proposal to remove and replace the fence along Richland Creek.

11-F(2). Motion to approve to enter into a Memorandum of Understanding with the St. Clair County Sheriff's

Department and the City of East St. Louis allowing for the Byrne Grant 2017.

## 12. COMMUNICATIONS

- 12-A. **The Fest Car Show/Cruise, 10/14/2017**  
Request from Kenny Herzog to hold their annual car show on October 14, 2017 from 9:00 a.m. -5:00 p.m. The location is 900 Scheel Street.
- 12-B. **Howl-O-Ween Pet Parade, 10/29/2017**  
Request from the Belleville Humane Society to hold their annual Pet Parade on October 29, 2017 from 1:00 p.m. - 2:00 p.m.
- 12-C. **Humane Society Block Party, 10/29/2017**  
Request from the Belleville Humane Society to hold a block party on October 29, 2017 from 1:00 p.m. to 4:00 p.m. Requesting the closure of the 1st block of South High Street between Washington and East Main from 11:00 a.m. to 5:00 p.m.
- 12-D. **Santa Parade, 12/24/2017**  
Request from the Optimist Club of Belleville to hold the Annual Santa Parade on Friday, November 24, 2017 from 10:00 a.m. - 12:00 p.m. with applicable street closures.
- 12-E. **Gingerbread 5K Run/Walk, 12/2/2017**  
Request from Belleville Parks & Recreation Department requesting to hold the 11th Annual Gingerbread 5K Run/Walk on Saturday, December 2, 2017 beginning at 510 West Main Street at 8:30 a.m. throughout a designated route and ending back at the Parks Department Office. Also requesting barricades, police coverage and temporary street closures until the completion of the 5K distance.
- 12-F. **Tavern on Main, 10/6-7/2017**  
Requesting to closing Church Street from East Main to alley during Chili Cook-Off. Friday, October 6, 2017 from 5:00 p.m. to midnight and Saturday, October 7, 2017 from 2:00 p.m. to midnight.

**13. PETITIONS**

**14. RESOLUTIONS**

14-A. **RESOLUTION 3312**

A Resolution requesting permission from IDOT to close Route 159 for the Santa Parade - November 24, 2017 from 10:00 a.m. to Noon.

**15. ORDINANCES**

15-A. **ORDINANCE 8102-2017**

An Ordinance concerning Chapter 24 (Taxation), Section 34.041 (Home Rule Municipal and Service Occupation Tax) of the revised ordinances of the City of Belleville, Illinois as amended.

15-B. **ORDINANCE 8103-2017**

An Ordinance amending Title IX (General Regulations), Chapter 92 (Health and Sanitation), Section 92.22 (Residential Refuse Collection Fee) of the revised ordinances of the City of Belleville, Illinois as amended.

15-C. **ORDINANCE 8104-2017**

An Ordinance amending Chapter 76 (Parking Schedules of the revised ordinances of the City of Belleville, Illinois as amended, by amending portions of sections thereof.

**16. UNFINISHED BUSINESS**

**17. MISCELLANEOUS & NEW BUSINESS**

17-A. Motor Fuel Claims in the Amount of **\$160,211.30**.

**18. EXECUTIVE SESSION**

18-A. The City Council may go into executive session to discuss personnel, litigation, workers' compensation, property acquisition, transfer of property.

18 (A-1). Motion to approve workers' compensation settlement.

**19. ADJOURNMENT (ALL QUESTIONS RELATING TO THE PRIORITY OF BUSINESS SHALL BE DECIDED BY THE CHAIR WITHOUT DEBATE, SUBJECT TO APPEAL)**

**PUBLIC PARTICIPATION (2-3 MINUTES PER PERSON)**

- (a) Members of the public may address the City Council in accordance with Section 2.06(g) of the Illinois Open Meetings Act (5 ILCS 120/2.06(g));
- (b) Public comments are limited to three (3) minutes per speaker;
- (c) The subject of public comments shall be reasonably related to matters(s) identified on the meeting agenda and/or other city business;
- (d) Repetitive public comments should be avoided, to the extent practical, through adoption of prior public comment (e.g. agreeing with prior speaker);
- (e) The following conduct is prohibited during public participation:
  - Acting or appearing in a lewd or disgraceful manner;
  - Using disparaging, obscene or insulting language;
  - Personal attacks impugning character and/or integrity;
  - Intimidation;
  - Disorderly conduct as defined in Section 130.02 of this revised code of ordinances.
- (f) Any speaker who engages in such prohibited conduct during public participation shall be called to order by the chair or ruling by the chair if a point of order is made by a sitting alderman.

**CITY OF BELLEVILLE, ILLINOIS  
REGULAR CITY COUNCIL MEETING MINUTES  
COUNCIL CHAMBERS – CITY HALL  
SEPTEMBER 5, 2017 – 7:00 PM**

Mayor Mark Eckert called this meeting to order.

Mayor Eckert explained the disaster procedures. Mayor Eckert reminded anyone speaking this evening to step up to a microphone because the meetings are being taped and posted the next day on the website.

Mayor Eckert requested City Clerk Jennifer Gain Meyer to call roll. Members present on roll call: Aldermen: Alderman Kinsella, Alderman Hazel, Alderwoman Pusa, Alderman Buettner, Alderman Randle, Alderman Tyler, Alderman Anthony, Alderman Ovian, Alderwoman Schaefer, Alderman Dintelman, Alderman Gaa, Alderwoman Stiehl, Alderman Elmore, Alderman Wigginton, and Alderman Barfield.

Alderman Weygandt excused.

**ROLL CALL DEPARTMENT HEADS**

Roll Call Department Heads: City Clerk, Jennifer Gain Meyer, City Treasurer Hardt and City Attorney Hoerner. Fire Chief, Tom Pour; City Engineer, Tim Gregowicz; Human Resource Director, Sherry Favre; Director of Parks; Recreation, Debbie Belleville; Director of Public Works, Jason Poole; Director of Economic Development, Annissa McCaskill and Director of Library, Leander Spearman.

Police Chief, Bill Clay; Director of Maintenance, Ken Vaughn; Health and Housing Director, Bob Sabo and Director of Wastewater, Royce Carlisle are excused.

**PLEDGE**

Mayor Eckert led the Pledge of Allegiance.

**PUBLIC HEARING**

None.

**PUBLIC PARTICIPATION**

None.

**PRESENTATIONS, RECOGNITIONS & APPOINTMENTS**

Emily Breunig, a Senior from Althoff Catholic/BASIC Youth Board, recognized the character word of the month "RESPECT" meaning showing regard for self, others, property and those in authority.

**APPROVAL OF MINUTES**

Alderman Wigginton made a motion seconded by Alderman Barfield to accept and file the minutes of City Council August 21, 2017.

All members voted aye.

**CLAIMS, PAYROLL, AND DISBURSEMENTS**

Alderwoman Stiehl made a motion seconded by Alderman Dintelman to approve claims and disbursements in the amount of **\$1,177,595.58** and payroll in the amount of **\$826,534.59**.

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (15)

**REPORTS**

None.

**ORAL REPORTS**

**TRAFFIC COMMITTEE**

Alderman Ovian made a motion seconded by Alderwoman Pusa to withdraw the following motions and send back to committee.

(1) Create a 4-way stop at East 'A' Street & North Michigan; and (2) Delete the 2-way stop on North Michigan at East 'A' Street.

All members voted aye.

**POLICE AND FIRE COMMITTEE**

Alderman Anthony made a motion seconded by Alderman Randle to approve the sale of one (1) used Fire Department 2005 Ford explorer that needs an engine to the highest bidder, Nicholas Grimes for \$1500.00.

Alderman Ovian requested the condition of the vehicle; Fire Chief Pour stated the vehicle is 2005, 112,000 miles, maroon, the seats are in good condition, 4 wheel drive, there are holes in the roof where the antennas were located. The trade value of the vehicle in fair shape is \$800 and the resale value is \$2500. The city received an offer from a mechanic and it was published on the city's website for a week with a minimum bid of \$1,500.

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (15)

**ZONING BOARD**

Alderman Randle made a motion seconded by Alderwoman Pusa to read by title only and as a group 11-C(1); 11-C(2); 11-C(4); 11-C(5); 11-C(6); 11-C(7); 11-C(8); 11-C(9); 11-C(10); 11-C(11); 11-C(12); 11-C(14); 11-C(16); 11-C(17); 11-C(18) and 11-C(19).

All members voted aye.

Alderwoman Schaefer made a motion seconded by Alderwoman Pusa to approve the following zoning cases:

**47-Aug17-Mary Bockewitz** – A request for a Use Variance in order to operate a church at 226 Centreville Avenue (Parcel number: 08-28.0-200-001) located in a "C-2" Heavy Commercial Zoning District. (Applicable portion of zoning code: 162.247, 162.570.) Ward 5 **The Board recommended approval.**

**48-Aug17-Johnathon Junge** - A request for a Use Variance to permit an office with storage in an existing building located at 525 S. 17th Street (Parcel number: 08-20.0-414-022) in an "A-1" Single Family Residence District (Applicable portion of Zoning Code: 162.570, 162.093) Ward 5 **The Board recommended approval.**

**26-May17-The B.A.S.I.C Initiative**– A request for a Sign Installation permit in the Area of Special Control in order to place one (1) flush mounted sign at 227 E. Main Street (Parcel: 08-22.0-334-038) located in a "C-2" Heavy Commercial District.(Applicable portion of zoning code: 155.052.) Ward 2 **The Board recommended approval.**

**27-May17–Bonnie Dickinson** – A request for a Sign Installation permit for the Area of Special Control in order to erect an 8' x 2.5' awning for **Vintage Tea room** at 316 East Main Street (Parcel: 08-22.0-340-022) located in a "C-2" Heavy Commercial District. (Applicable portion of zoning code: 155.052.) Ward 6 **The Board recommended approval.**

**28-May17- Mark Flota**– A request for a Special Use permit in order to erect a metal building over 150 square feet at 200 S. Belt West (Parcel: 08-28.0-407-002) located in a "C-2" Heavy Commercial District. (Applicable portion of zoning code: 162.248, 162.515) Ward 5 **The Board recommended approval.**

**29-May17 - Mark Flota** - A request for a Bulk Variance in order to place an accessory structure in the front yard of a property at 200 S. Belt West (Parcel: 08-28.0-407-002) located in a "C-2" Heavy Commercial Zoning District. (Applicable portion of zoning code: 162.034-036, 162.570.) Ward 5 **The Board recommended approval.**

**30a-May17 - Wal-Mart Stores:** A request for a Bulk Variance to permit a screened bale and pallet enclosure to maintain a height of 10 feet in lieu of 7 feet in height at 1601 South 74 Street and adjoining parcels (Parcel numbers: 07-14.0-200-031, 07-11.0-409-001, 07-11.0-400-004, 07-14.0-200-032) located in a C-2 Heavy Commercial Zoning District. [Applicable section of Zoning Code: 162.504 E(1)(d)] Ward 8 **The Board recommended approval.**

**30b-May17 - Wal-Mart Stores:** A request for a Bulk Variance to permit a screening of the trash compactor to maintain a height of 10 feet in lieu of 7 feet in height at 1601 South 74 Street and adjoining parcels (Parcel numbers: 07-14.0-200-031, 07-11.0-409-001, 07-11.0-400-004, 07-14.0-200-032) located in a C-2 Heavy Commercial Zoning District. [Applicable section of Zoning Code: 162.504 E(1)(d)] Ward 8 **The Board recommended approval.**

**30c-May17 - Wal-Mart Stores:** A request for a Bulk Variance to permit interior drive aisles to maintain a width of 24 feet in lieu of 25 feet at 1601 South 74 Street and adjoining parcels (Parcel numbers: 07-14.0-200-031, 07-11.0-409-001, 07-11.0-400-004, 07-14.0-200-032) located in a C-2 Heavy Commercial Zoning District. (Applicable section of Zoning Code: 162.439) Ward 8 **The Board recommended approval.**

**31-May17 - Wal-Mart Stores:** A request Sign Variance to permit signage over 300 square feet on the frontages of State Route 15 and South 74th Street at 1601 South 74 Street and adjoining parcels (Parcel numbers: 07-14.0-200-031, 07-11.0-409-001, 07-11.0-400-004, 07-14.0-200-032) located in a C-2 Heavy Commercial Zoning District. (Applicable section of Zoning Code: 155.004) Ward 8 **The Board recommended approval.**

**31b-May17 - Wal-Mart Stores:** A request for a Sign Variance to permit two signs to extend beyond twenty (20) feet above the ground or pavement 1601 South 74 Street and adjoining parcels (Parcel numbers: 07-14.0-200-031, 07-11.0-409-001, 07-11.0-400-004, 07-14.0-200-032) located in a C-2 Heavy Commercial Zoning District. [Applicable section of Zoning Code: Section 155.026 (B)(2)] Ward 8 **The Board recommended approval.**

**32b-May17-Wal-Mart Stores:** A request for a Special Use Permit for a Convenience Store at 1601 South 74 Street and adjoining parcels (Parcel numbers: 07-14.0-200-031, 07-11.0-409-001, 07-11.0-400-004, 07-14.0-200-032) located in a C-2 Heavy Commercial Zoning District. (Applicable section of Zoning Code: 162.248, 162.515.) Ward 8 **The Board recommended approval.**

**34-Jun17-Quentin "Marty" Nungesser (Country Café by Royel)** – A request for a Special Use permit for a liquor license at 1550 East State Route 15 (Parcels: 13-01.0-400-030.) located in a "C-4" Commercial District. (Applicable portion of zoning code: 162.278, 162.515.) Ward 6 **The Board recommended approval.**

**35-Jun17 –Lighthouse of Hope Church** – A request to Rezone the property at 45 Sheffield Drive (Parcel number: 07-11.0-407-018) from a split zoning of "C-3" Heavy Commercial District and "D-1" Light Industry District to "D-2" Heavy Industry District. (Applicable portion of the Zoning Code: 162.245 through 162.248, 162.305 through 162.323, and 162.590.) Ward 8 **The Board recommended approval.**

**37-Jun17– Call to Worship Ministries** – A request for a Use Variance in order to operate a church at 15 North 47th Street (Parcel number: 08-07.0-412-012.) located in a "C-2" Heavy Commercial Zoning District. (Applicable portion of zoning code: 162.247, 162.570.) Ward 4 **The Board recommended approval.**

**38-Jun17-White Top, Inc.** – A request for a Special Use Permit for a warehouse at 402 West Main Street (Parcel number: 08-21.0-441-095.) located in a "C-2" Heavy Commercial District. (Applicable portion of zoning code: 162.248, 162.515.) Ward 5 **The Board recommended approval.**

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (15)

\*\*\*

Alderman Randle made a motion seconded by Alderwoman Pusa to read by title only 11-C(3).

All members voted aye.

Alderman Elmore made a motion seconded by Alderman Wigginton to deny **49-Aug17 - Lou Fusz Auto** - A request for a Special Use Permit for used motor vehicle sales at 2608 Green Mount Road (Walmart; Parcel number: 09-19.0-104-0033) in a "C-2" Heavy Commercial Zoning District. (Applicable portion of zoning code: 162.248.) Ward 7 **The Board recommended approval.**

*Discussion...*

Alderman Buettner asked Alderman Elmore to explain his decision for his motion; Alderman Elmore stated he and Alderman Weygandt attended the zoning meeting listened to their presentation and this is not the intended use for the property and the city has no experience with this request i.e. setting up a tent for someone to sell something. Alderman suggested the applicant meet with city administration for further discussion.

Alderman Kinsella stated this is not brick and mortar building; therefore, is a disadvantage to the other businesses.

Alderman Wigginton recommended the Ordinance and Legal committee to review this request.

Alderman Randle stated a few years ago there was an issue in Ward 8 with a car dealership that was trying to operate out of a mobile unit. At the zoning board meeting in which **49-Aug17 - Lou Fusz Auto** was discussed they were requesting to bring in an RV to do paperwork and possibly have to transport people back to the store in Fairview Heights.

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (15)

\*\*\*

Alderwoman Pusa made a motion seconded by Alderman Kinsella to read by title only 11-C(13).

All members voted aye.

Alderman Wigginton made a motion seconded by Alderman Anthony to approve **32-May17 - Wal-Mart Stores**: A request for a Special Use Permit for a liquor license at 1601 South 74 Street and adjoining parcels (Parcel numbers: 07-14.0-200-031, 07-11.0-409-001, 07-11.0-400-004, 07-14.0-200-032) located in a C-2 Heavy Commercial Zoning District. (Applicable section of Zoning Code: 162.248, 162.515.) Ward 8 **The Board recommended approval.**

*Discussion...*

Alderman Ovian asked (1) will they be given a liquor license to operate; and (2) will there be security for the people who work in the store.

Mayor Eckert explained tonight is to consider the zoning. The hours are set by the liquor commission and any safety provisions are concerns will be handled through the liquor commissioner, the city attorney and police chief.

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (15)

\*\*\*

Alderman Elmore made a motion seconded by Alderwoman Stiehl to read by title only 11-C(15).

All members voted aye.

Alderman Anthony made a motion seconded by Alderwoman Schaefer to approve **33-May17 – Alisa Vaughn** – A request for a Use Variance in order to operate a salon service and cosmetology classes at 9601 West Main Street (Parcel: 02-35.0-213-012) located in a "B-1" Multi-Family Residence Zoning District (Applicable portion of the Zoning Code: 162.182, 162.570.) Ward 4 **The Board recommended approval.**

*Discussion...*

Alderman Ovian referenced the Housing Department inspected and gave a list of items that needed to be addressed. Director of Economic Development, Anissa McCaskill stated the issues are part of an inspection done for occupancy, occupancy is not issued until the items are addressed. There is an existing business for which there is an occupancy in that location. The request is for her to add an additional use for her to provide instruction for cosmetology.

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (14)

Member voting nay on roll call: Ovian. (1)

## **ADMINISTRATION**

Alderman Hazel made a motion seconded by Alderwoman Pusa to approve to terminate and release three (3) party development agreement for 51.07 acres between the City of Belleville, Diocese of Belleville and Carl Lee.

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (15)

\*\*\*

Alderwoman Stiehl made a motion seconded by Alderwoman Schaefer to approve amendment to terminate the Belleville Township 457(b) Deferred Compensation Plan.

*Discussion...*

Alderman Randle asked if this was ever an active compensation plan; Finance Director, Jamie Maitret, stated when the Township was dissolved the Nationwide plan already existed. There was \$11,000 remaining in the account. It was recommended to terminate.

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (15)

### **COMMUNICATIONS**

Alderman Dintelman made a motion seconded by Alderwoman Schaefer to approve the following communications:

#### **Children's Dyslexia Center-Southern Illinois Walk, 10/7/2017**

Request from Children's Dyslexia Center requesting to hold their annual walk on October 7, 2017 from 10:00 a.m. -1:00 p.m.

#### **South 5th Street Neighborhood Block Party, 9/17/2017**

Request from 5th Street Neighborhood requesting to hold their block party on Sunday, September 17, 2017 from noon to 6:00 PM. Requesting to close South 5th Street between West Cleveland Avenue and Polk Street, and the alley that bisects South 5th Street and eight (8) barricades.

All members voted aye.

### **PETITIONS**

None.

### **RESOLUTIONS**

Alderwoman Pusa made a motion seconded by Alderman Gaa to read Resolution 3311 by title only.

All members voted aye.

Alderman Schaefer made a motion seconded by Alderman Pusa to approve **RESOLUTION 3311** A Resolution approving final plat of minor subdivision of land (South Greenmount Road).

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (15)

### **ORDINANCES**

Alderman Wigginton made a motion seconded by Alderman Dintelman to read by title only and as a group 8079-2017, 8080-2017, 8082-2017, 8083-2017, 8084-2017, 8085-2017, 8086-2017, 8087-2017, 8088-2017, 8089-2017, 8090-2017, 8091-2017, 8092-2017, 8093-2017, 8094-2017, 8095-2017, 8096-2017, 8097-2017, 8100-2017, and 8001-2017.

All members voted aye.

Alderman Randle made a motion seconded by Alderman Wigginton to approve the following Ordinances:

#### **ORDINANCE 8079-2017**

A ZONING ORDINANCE IN RE 47-Aug17-Mary Bockewitz.

#### **ORDINANCE 8080-2017**

A ZONING ORDINANCE IN RE 48-Aug17-Johnathon Junge.

#### **ORDINANCE 8082-2017**

A ZONING ORDINANCE IN RE 26-May17-The B.A.S.I.C Initiative.

#### **ORDINANCE 8083-2017**

A ZONING ORDINANCE IN RE 27-May17-Bonnie Dickinson.

#### **ORDINANCE 8084-2017**

A ZONING ORDINANCE IN RE 28-May17- Mark Flota.

#### **ORDINANCE 8085-2017**

A ZONING ORDINANCE IN RE 29-May17 - Mark Flota.

#### **ORDINANCE 8086-2017**

A ZONING ORDINANCE IN RE 30a-May17 - Wal-Mart Stores.

#### **ORDINANCE 8087-2017**

A ZONING ORDINANCE IN RE 30b-May17 - Wal-Mart Stores.

#### **ORDINANCE 8088-2017**

A ZONING ORDINANCE IN RE 30c-May17 - Wal-Mart Stores.

**ORDINANCE 8089-2017**

A ZONING ORDINANCE IN RE 31-May17 - Wal-Mart Stores.

**ORDINANCE 8090-2017**

A ZONING ORDINANCE IN RE 31b-May17 - Wal-Mart Stores.

**ORDINANCE 8091-2017**

A ZONING ORDINANCE IN RE 32-May17 - Wal-Mart Stores.

**ORDINANCE 8092-2017**

A ZONING ORDINANCE IN RE32b-May17-Wal-Mart Stores.

**ORDINANCE 8093-2017**

A ZONING ORDINANCE IN RE 33-May17 – Alisa Vaughn.

**ORDINANCE 8094-2017**

A ZONING ORDINANCE IN RE34-Jun17-Quentin "Marty" Nungesser (Country Café by Royel).

**ORDINANCE 8095-2017**

A ZONING ORDINANCE IN RE 35-Jun17 –Lighthouse of Hope Church.

**ORDINANCE 8096-2017**

A ZONING ORDINANCE IN RE 37-Jun17– Call to Worship Ministries.

**ORDINANCE 8097-2017**

A ZONING ORDINANCE IN RE 38-Jun17-White Top, Inc.

**ORDINANCE 8100-2017**

An Ordinance amending Chapter 76 (Parking Schedules) of the revised ordinances of the City of Belleville, Illinois as amended, by amending portions of sections thereof. (North side of West 'E' street from 6th Street to Cattawba, a fire lane)

**ORDINANCE 8101-2017**

An Ordinance authorizing the sale of personal property (2005 Ford Explorer - Fire Department vehicle).

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (15)

**UNFINISHED BUSINESS**

Alderman Buettner stated he would like to place the Lindenwood Parking Plan in committee. He stated he has met with Dr. Trice regarding ongoing issues. The issues are continuing i.e. students are parking in two hour parking zone all day and night, students up and down the street, student parking on private property.

Mayor Eckert recommended calling the police regarding two hour parking zones. Mayor Eckert recommended that a meeting be scheduled for himself, Dr. Trice and the aldermen of Ward 2.

Alderman Buettner asked when the Hofbräuhaus will be hiring; Mayor Eckert stated he does not know. Alderman Buettner asked for a meeting with the Kellers regarding opening and the hotel. Mayor Eckert stated he and the city attorney met and agreed the Hofbräuhaus must get open and great progress is being made.

### **MISCELLANEOUS & NEW BUSINESS**

Alderman Dintelman made a motion seconded by Alderman Kinsella to approve the Motor Fuel Claims in the Amount of **\$55,483.23**.

Members voting aye on roll call: Hazel, Kinsella, Pusa, Buettner, Randle, Tyler, Anthony, Ovian, Schaefer, Dintelman, Gaa, Stiehl, Elmore, Wigginton and Barfield. (15)

### **EXECUTIVE SESSION**

None.

### **ADJOURNMENT**

Alderman Tyler made a motion seconded by Alderman Randle to adjourn at 8:01 pm.

All members voted aye.

---

Jennifer Gain Meyer, City Clerk

**CITY OF BELLEVILLE PAYMENT SUMMARY  
COUNCIL MEETING - SEPTEMBER 18, 2017**

**GENERAL FUND**

00 - Revenue	\$276,584.46
50 - Administration	\$51,196.68
51 - Police	\$15,053.81
52 - Fire	\$6,508.90
53 - Streets	\$2,573.98
54 - Parks	\$12,360.29
55 - Cemetery	\$1,020.23
56 - Hlth/Sanitation	\$64,283.20
60 - Legal	\$1,169.50
61 - Health & Housing	\$4,968.46
62 - Economic Planning & Dev	\$872.89
82 - Mayor	\$396.95
84 - Human Resources	\$285.74
86 - Treasurer	\$191.01
87 - Maintenance	\$3,938.70
88 - Engineering	\$596.05
<b>GF TOTAL</b>	<b>\$442,000.85</b>

**SEWER OPERATIONS**

75 - Collections	\$5,403.97
77 - Lines	\$3,775.18
78 - Plant	\$51,677.69
<b>SEWER TOTAL</b>	<b>\$60,856.84</b>

03 - Insurance Fund	\$98,944.54
04 - Library	\$1,904.33
07 - Park/Rec	\$10,090.67
12 - General & Community Assistance	\$2,422.90
13 - Motor Fuel Tax Fund	\$160,211.30
14 - Fountain Fund	\$326.70
22 - Sewer Repair & Replacement	\$5,542.37
24 - Sewer Const.	\$822,060.32
25 - Sewer Bond & Interest	\$81,008.94
30 - SSA	\$79.22
38 - TIF 3	\$67,373.67
44 - Belleville Illinois Tourism	\$4,367.25
45 - 2015 PD Proj. Construction Fund	\$875,033.53
50 - TIF 8 Downtown South	\$500.00
51 - TIF 9 Southwind Estates	\$500.00
52 - Tif 10 Lower Richland Creek	\$1,000.00
53 - TIF 11 Ind Job Recovery	\$500.00
54 - TIF 12 Sherman St	\$500.00
55 - TIF 13 Drake Road	\$500.00
56 - TIF 14 Route 15 East	\$500.00
57 - TIF 15 Carlyle Greenmount	\$193,651.20
58 - TIF 16 Route 15 West Corridor	\$10,960.00
71 - Police Trust	\$418.52
72 - NARCOTICS	\$10,706.00
75 - TIF 17 E Main Street	\$3,627.57
77 - TIF 19 Frank Scott Parkway	\$179,796.12
78 - TIF 20 Rt 15/S Green Mnt	\$11,558.67

**ALL FUNDS TOTAL** \$3,046,941.51

VENDOR #	NAME	DEPT.	AMOUNT
----------	------	-------	--------

21 SEWER OPERATION & MAINTENANCE

SEWER COLLECTION

4259	CHRISTONE ENTERPRISES	21-75	79.57
BE161	BEATTY, LAUREN	21-75	2,853.87
CO164	CORNSTUBBLE, CARRIE	21-75	20.49
CU029	CURTIS, H. FRED	21-75	16.52
JE023	JENNRICH, MICHELLE	21-75	1,395.95
LI047	LITTLE, ROBIN	21-75	250.00
PA095	PARKS, MICHAEL	21-75	119.72
RU038	RUSTEBERG, EMILY	21-75	66.97
WA093	Waelti, CAROL	21-75	174.81
WI140	WILLIS, MAXINE	21-75	240.17

**TOTAL SEWER COLLECTION			5,218.07
--------------------------	--	--	----------

21 SEWER OPERATION & MAINTENANCE	GRAND TOTAL		5,218.07
----------------------------------	-------------	--	----------

GRAND TOTAL FOR ALL FUNDS:			5,218.07
----------------------------	--	--	----------

TOTAL FOR REGULAR CHECKS:			5,218.07
---------------------------	--	--	----------

VENDOR #	NAME	DEPT.	AMOUNT
12 GENERAL & COMMUNITY ASSISTANCE			
551	ILLINOIS AMERICAN WATER	12-00	30.23
6838	PEAKNET, INC	12-00	89.00
BE083	BETHANY PLACE	12-00	67.00
CH030	CHARTER COMMUNICATIONS	12-00	205.21
	**TOTAL		391.44
12 GENERAL & COMMUNITY ASSISTANCE GRAND TOTAL			391.44
GRAND TOTAL FOR ALL FUNDS:			391.44
TOTAL FOR REGULAR CHECKS:			391.44

SYS DATE:09/08/17

CITY OF BELLEVILLE  
C L A I M S H E E T  
Friday September 8, 2017

SYS TIME:10:38

[NCS]

DATE: 09/08/17

PAGE 1

VENDOR #	NAME	DEPT.	AMOUNT
=====			
03	INSURANCE FUND		
IN033	IPMG	03-00	98,944.54
	**TOTAL		98,944.54
	03 INSURANCE FUND	GRAND TOTAL	98,944.54

VENDOR #	NAME	DEPT.	AMOUNT
----------	------	-------	--------

12 GENERAL & COMMUNITY ASSISTANCE

5473	ST CLAIR COUNTY COLLECTOR	12-00	47.75
5842	ST CLAIR COUNTY TRANSIT DISTRICT	12-00	450.00
AM059	AMEREN ILLINOIS	12-00	434.70
AT022	AT&T MOBILITY	12-00	66.59
BE083	BETHANY PLACE	12-00	75.00
BE158	BENESH, DEBRA	12-00	245.00
CI031	CITY OF BELLEVILLE	12-00	74.74
CR060	CRAWFORD, DAMON	12-00	245.00
FI009	FIRST ALLIANCE REAL ESTATE	12-00	195.00
IL088	ILLINOIS AMERICAN WATER	12-00	150.68
ME081	METRO PCS	12-00	47.00

**TOTAL			2,031.46
---------	--	--	----------

12 GENERAL & COMMUNITY ASSISTANCE	GRAND TOTAL	2,031.46
-----------------------------------	-------------	----------

GRAND TOTAL FOR ALL FUNDS:	100,976.00
----------------------------	------------

TOTAL FOR REGULAR CHECKS:	100,976.00
---------------------------	------------

VENDOR #	NAME	DEPT.	AMOUNT
01 GENERAL FUND			
3600	MCBRIDE & SON	01-00	75.00
AZ002	AZAVAR AUDIT SOLUTIONS	01-00	8,633.78
EC007	ECKERT'S COUNTRY STORE AND FARMS	01-00	3,599.11
SO050	SONOMA CAP RE FUND II, LLC	01-00	1,296.44
TH053	THIELEMAN, ELLEN	01-00	60.00
UM001	UMB BANK NA	01-00	262,820.13
VI022	VICTORY FAMILY CHURCH	01-00	100.00
**TOTAL			276,584.46
ADMINISTRATION			
1112	WATTS COPY SYSTEM, INC.	01-50	658.93
2102	AMEREN ILLINOIS	01-50	5,872.78
3119	COMPUTYPE IT SOLUTIONS	01-50	350.00
4902	AT & T	01-50	43.76
551	ILLINOIS AMERICAN WATER	01-50	10,220.97
6122	VERIZON WIRELESS	01-50	119.61
759	BELLEVILLE NEWS DEMOCRAT	01-50	28.32
CD003	SHRED-IT USA	01-50	56.69
CI021	CIVICPLUS	01-50	8,275.37
CO139	CONSTELLATION NEW ENERGY, INC	01-50	9,724.73
CU017	CULLIGAN/SCHAEFER WATER CENTERS	01-50	32.65
UM001	UMB BANK NA	01-50	7,634.79
VO006	VOLKERT INC	01-50	8,178.08
**TOTAL ADMINISTRATION			51,196.68
POLICE DEPARTMENT			
1112	WATTS COPY SYSTEM, INC.	01-51	679.22
365	WIRELESS USA	01-51	831.00
3916	VOGT OIL CO., INC.	01-51	308.55
402	EGYPTIAN WORKSPACE PARTNERS	01-51	401.59
4902	AT & T	01-51	62.49
515	HOME-BRITE ACE HARDWARE	01-51	5.98
5205	PASS SECURITY	01-51	114.00
5425	METRO LOCK & SECURITY INC	01-51	24.00
6122	VERIZON WIRELESS	01-51	1,925.60
6838	PEAKNET, INC	01-51	110.00
7668	MOODY, JOHN	01-51	101.26
8130	TESCHENDORF, ALAN D	01-51	125.00
AP008	APPLIED CONCEPTS, INC	01-51	1,237.00
AT012	AT & T MOBILITY	01-51	2.27
BE145	BELLEVILLE FAST SERVICE	01-51	5.00
CH026	CHARM-TEX, INC	01-51	265.90
FA026	FACTORY MOTOR PARTS CO	01-51	1,285.09
GA059	GATEWAY RV & POWERSPORTS	01-51	200.99
HA006	HARDEE'S RESTAURANT INC	01-51	213.64
IL008	TECHNOLOGY MANAGEMENT REVOLVING	F01-51	2,016.42
OF004	OFFICE DEPOT	01-51	60.27
OR001	O'REILLY AUTO PARTS	01-51	100.65

VENDOR #	NAME	DEPT.	AMOUNT
01 GENERAL FUND			
POLICE DEPARTMENT			
PE014	PEARCE, MICHAEL	01-51	97.75
TH048	THE BANK OF EDWARDSVILLE	01-51	4,504.04
TH059	THE BUMPER REPAIR COMPANY & MORE	01-51	50.00
WE022	WEIR WHOLESALE PARTS, LLC	01-51	326.10
**TOTAL POLICE DEPARTMENT			15,053.81
FIRE DEPARTMENT			
1112	WATTS COPY SYSTEM, INC.	01-52	419.91
159	AUFFENBERG FORD LINCOLN MERCURY	01-52	660.00
182	BANNER FIRE EQUIPMENT INC	01-52	2,862.84
4902	AT & T	01-52	96.52
5125	PENET, JEAN-PAUL	01-52	57.98
515	HOME-BRITE ACE HARDWARE	01-52	29.98
5205	PASS SECURITY	01-52	81.00
6122	VERIZON WIRELESS	01-52	286.87
726	CLEAN UNIFORM COMPANY	01-52	163.92
CD003	SHRED-IT USA	01-52	52.75
CH030	CHARTER COMMUNICATIONS	01-52	89.99
FA017	FABRIZIO, JEFFREY	01-52	185.66
GA008	GARLAND, JOSEPH	01-52	142.66
HO034	HOME DEPOT CREDIT SERVICES	01-52	171.07
OF004	OFFICE DEPOT	01-52	204.80
PA027	PAULE AUTO INC	01-52	400.00
TH048	THE BANK OF EDWARDSVILLE	01-52	2.95
UN038	UNIVERSITY OF ILLINOIS	01-52	600.00
**TOTAL FIRE DEPARTMENT			6,508.90
STREETS			
1112	WATTS COPY SYSTEM, INC.	01-53	167.98
413	ERB TURF EQUIPMENT, INC.	01-53	2.36
4902	AT & T	01-53	226.99
515	HOME-BRITE ACE HARDWARE	01-53	19.16
5575	PRAXAIR DISTRIBUTION, INC.	01-53	142.06
6122	VERIZON WIRELESS	01-53	229.73
BI028	BI-COUNTY SMALL ENGINE CENTER	01-53	749.53
CD003	SHRED-IT USA	01-53	42.80
CJ001	C J GOODALL TIRE CO, INC	01-53	50.40
CR023	POMP'S TIRE SERVICE, INC	01-53	167.63
EC008	ECON-O-JOHNS	01-53	125.00
FI014	1ST AYD CORP	01-53	253.55
LO010	LOWE'S	01-53	214.58
PL000	PLAZA AUTO PARTS	01-53	103.33
ST043	ST LOUIS COMPOSTING INC	01-53	20.00
WA066	WARNING LITES OF SOUTHERN ILLINOI	01-53	58.88
**TOTAL STREETS			2,573.98

VENDOR #	NAME	DEPT.	AMOUNT
01 GENERAL FUND			
STREETS			
PARKS DEPARTMENT			
1082	VACUUM CLEANER EXCHANGE CO.	01-54	9.95
1112	WATTS COPY SYSTEM, INC.	01-54	590.94
1473	MARTIN GLASS COMPANY	01-54	85.00
2102	AMEREN ILLINOIS	01-54	923.72
2768	SONNENBERG ASPHALT CO.	01-54	550.00
277	CAMPER EXCHANGE, INC.	01-54	254.94
378	DINTELMANN NURSERY & GARDEN CTR,	01-54	334.94
393	DUTCH HOLLOW JANITORIAL SUPPLIES	01-54	38.10
4902	AT & T	01-54	302.53
515	HOME-BRITE ACE HARDWARE	01-54	69.83
5205	PASS SECURITY	01-54	471.00
551	ILLINOIS AMERICAN WATER	01-54	1,629.26
5575	PRAXAIR DISTRIBUTION, INC.	01-54	27.00
6122	VERIZON WIRELESS	01-54	43.64
661	LIESE LUMBER CO., INC.	01-54	243.80
7678	SHILOH VALLEY EQUIPMENT CO	01-54	413.20
888	FS TURF SOLUTIONS	01-54	436.35
AM040	AMERI-CAN PORTABLES	01-54	265.00
AT010	AT & T LONG DISTANCE	01-54	2.73
AT012	AT & T MOBILITY	01-54	10.07
CH030	CHARTER COMMUNICATIONS	01-54	109.98
CO139	CONSTELLATION NEW ENERGY, INC	01-54	2,566.76
GR082	GREATAMERICA FINANCIAL SVCS.	01-54	495.95
HO034	HOME DEPOT CREDIT SERVICES	01-54	463.55
OR001	O'REILLY AUTO PARTS	01-54	120.39
ST009	ST CLAIR SERVICE COMPANY	01-54	1,660.80
ST043	ST LOUIS COMPOSTING INC	01-54	120.00
UN027	UNIFIRST CORPORATION	01-54	120.86
**TOTAL PARKS DEPARTMENT			12,360.29
CEMETERY DEPARTMENT			
3916	VOGT OIL CO., INC.	01-55	808.40
4902	AT & T	01-55	42.73
6122	VERIZON WIRELESS	01-55	36.63
AB006	ABSOPURE WATER CO	01-55	51.75
UN027	UNIFIRST CORPORATION	01-55	80.72
**TOTAL CEMETERY DEPARTMENT			1,020.23
HEALTH & SANITATION			
1112	WATTS COPY SYSTEM, INC.	01-56	31.29
1316	DOWNING SALES & SERVICE, INC	01-56	773.67
3445	DAVE SCHMIDT TRUCK SERVICE	01-56	9,947.61
393	DUTCH HOLLOW JANITORIAL SUPPLIES	01-56	60.18
4902	AT & T	01-56	83.15
515	HOME-BRITE ACE HARDWARE	01-56	60.50
6122	VERIZON WIRELESS	01-56	306.02



VENDOR #	NAME	DEPT.	AMOUNT
=====			
01	GENERAL FUND		
	HUMAN RESOURCES/COMMUNITY DEV		
	TREASURER		
OF004	OFFICE DEPOT	01-86	191.01
	**TOTAL TREASURER		----- 191.01
	MAINTENANCE		
1112	WATTS COPY SYSTEM, INC.	01-87	11.53
214	BELLEVILLE SUPPLY COMPANY	01-87	80.32
2192	SHERWIN - WILLIAMS CO.	01-87	80.59
385	DON'S HARDWARE, INC.	01-87	10.78
515	HOME-BRITE ACE HARDWARE	01-87	64.91
6122	VERIZON WIRELESS	01-87	273.62
726	CLEAN UNIFORM COMPANY	01-87	109.53
BO037	BOYER FIRE PROTECTION	01-87	2,575.00
CH030	CHARTER COMMUNICATIONS	01-87	121.33
FR014	FROST ELECTRIC SUPPLY CO	01-87	38.44
MI078	MIDWEST ELEVATOR CO	01-87	322.65
WE023	WEINLAND REFRIGERATION	01-87	250.00
	**TOTAL MAINTENANCE		----- 3,938.70
	ENGINEERING		
1112	WATTS COPY SYSTEM, INC.	01-88	329.88
6122	VERIZON WIRELESS	01-88	173.51
AB006	ABSOPURE WATER CO	01-88	31.25
GRO33	GREGOWICZ, TIM	01-88	61.41
	**TOTAL ENGINEERING		----- 596.05
01	GENERAL FUND	GRAND TOTAL	442,000.85

VENDOR #	NAME	DEPT.	AMOUNT
----------	------	-------	--------

04 LIBRARY

2102	AMEREN ILLINOIS	04-00	132.69
4902	AT & T	04-00	87.52
551	ILLINOIS AMERICAN WATER	04-00	66.16
C0139	CONSTELLATION NEW ENERGY, INC	04-00	1,617.96

	**TOTAL		1,904.33
--	---------	--	----------

04 LIBRARY	GRAND TOTAL		1,904.33
------------	-------------	--	----------

VENDOR #	NAME	DEPT.	AMOUNT
07 PLAYGROUND AND RECREATION			
1057	TRIBOUT DISTRIBUTORS	07-00	125.00
1112	WATTS COPY SYSTEM, INC.	07-00	86.43
201	BELLEVILLE BOWLING & SPORTS SHOP	07-00	142.50
2244	SWITZER FOOD & SUPPLIES	07-00	188.45
3119	COMPUTYPE IT SOLUTIONS	07-00	200.00
4902	AT & T	07-00	48.26
6155	STRUBHART, TODD	07-00	17.80
6538	OPTIMIST CLUB OF BELLEVILLE	07-00	90.00
7650	TISCH MONUMENTS, INC.	07-00	150.00
957	CURT SMITH SPORTING GOODS, INC.	07-00	437.95
961	SOUTHWEST ILLINOIS ASSN. OF UMPIRO	07-00	7,764.00
AM036	AMERICAN BOTTLING	07-00	29.60
AT011	AT & T U-VERSE	07-00	75.44
CD003	SHRED-IT USA	07-00	52.75
CR059	CRASK, MARK	07-00	35.00
GR037	GRANT, MARY ROSE	07-00	175.00
GR072	GRAY, DAWN	07-00	45.00
OF004	OFFICE DEPOT	07-00	212.49
PA091	PALMER, CHRIS	07-00	70.00
SI033	SIMMONS, DAWN	07-00	35.00
ST185	STINSON, KATY	07-00	35.00
WE078	WEBER, MICHAEL	07-00	35.00
YA004	YATES. CRYSTAL	07-00	40.00
	**TOTAL		10,090.67
07 PLAYGROUND AND RECREATION	GRAND TOTAL		10,090.67

VENDOR #	NAME	DEPT.	AMOUNT
----------	------	-------	--------

13 MOTOR FUEL TAX FUND

194	BEELMAN LOGISTICS LLC	13-00	39,206.79
6563	CHRIST BROS. ASPHALT INC	13-00	2,953.05
EL001	ELECTRICO, INC.	13-00	470.56
FO033	FOURNIE CONTRACTING COMPANY, INC	13-00	9,581.49
JT000	JTC PETROLEUM CO	13-00	107,999.41
	**TOTAL		160,211.30

13 MOTOR FUEL TAX FUND	GRAND TOTAL	160,211.30
------------------------	-------------	------------

VENDOR #	NAME	DEPT.	AMOUNT
14 FOUNTAIN FUND			
2192	SHERWIN - WILLIAMS CO.	14-00	114.67
FR014	FROST ELECTRIC SUPPLY CO	14-00	212.03
	**TOTAL		326.70
	14 FOUNTAIN FUND	GRAND TOTAL	326.70

VENDOR #	NAME	DEPT.	AMOUNT
=====			
21 SEWER OPERATION & MAINTENANCE			
SEWER COLLECTION			
OF004	OFFICE DEPOT	21-75	48.20
PA076	PAYMENT SERVICE NETWORK, INC	21-75	137.70
	**TOTAL SEWER COLLECTION		----- 185.90
SEWER LINES			
3916	VOGT OIL CO., INC.	21-77	809.39
515	HOME-BRITE ACE HARDWARE	21-77	90.06
6122	VERIZON WIRELESS	21-77	30.68
661	LIESE LUMBER CO., INC.	21-77	14.90
7141	AL'S AUTOMOTIVE SUPPLY, INC.	21-77	4.19
803	POELKER'S GARAGE INC.	21-77	33.00
H0034	HOME DEPOT CREDIT SERVICES	21-77	27.97
MI072	MIDWEST VAC PRODUCTS, LLC	21-77	804.89
QU012	QUALITY CHEMICAL CO	21-77	1,760.00
UN027	UNIFIRST CORPORATION	21-77	200.10
	**TOTAL SEWER LINES		----- 3,775.18
SEWER PLANT			
1112	WATTS COPY SYSTEM, INC.	21-78	209.83
2102	AMEREN ILLINOIS	21-78	392.35
214	BELLEVILLE SUPPLY COMPANY	21-78	55.14
2435	GATEWAY INDUSTRIAL POWER	21-78	1,797.72
3916	VOGT OIL CO., INC.	21-78	1,390.55
413	ERB TURF EQUIPMENT, INC.	21-78	14.00
419	JOHN FABICK TRACTOR COMPANY	21-78	417.01
4902	AT & T	21-78	300.71
515	HOME-BRITE ACE HARDWARE	21-78	10.36
551	ILLINOIS AMERICAN WATER	21-78	246.99
6122	VERIZON WIRELESS	21-78	639.96
6328	GRAINGER INDUS. & COMMERCIAL SUPP	21-78	1,037.09
6578	ILLINOIS AWPCO	21-78	40.00
6593	PROCESS EQUIPMENT & CONTROLS, INC	21-78	1,584.00
8056	SPRINT	21-78	23.18
8071	HACH COMPANY	21-78	1,430.09
8132	WASTE MANAGEMENT OF ST. LOUIS	21-78	888.87
AS003	ALFA LAVAL, INC	21-78	519.39
BU004	BRANNAMAN, SHAWNDELL	21-78	5.45
CD003	SHRED-IT USA	21-78	42.80
CO139	CONSTELLATION NEW ENERGY, INC	21-78	33,270.98
EC009	ECC SUPPLY	21-78	103.73
EN015	ENGLAND JR, ROBERT	21-78	111.81
FA002	FASTENAL COMPANY	21-78	163.18
GR075	GRAHAM, JOHN A	21-78	825.00
HA143	HAWKINS, INC	21-78	1,742.20
MU006	MUNICIPAL EQUIPMENT CO	21-78	894.52
NU001	NUSCO	21-78	1,980.00
PL011	PLUMBERS SUPPLY	21-78	110.40

VENDOR #	NAME	DEPT.	AMOUNT
----------	------	-------	--------

21 SEWER OPERATION & MAINTENANCE

SEWER PLANT			
QU006	QUILL CORPORATION	21-78	54.97
SI024	EVOQUA WATER TECHNOLOGIES LLC	21-78	600.00
ST009	ST CLAIR SERVICE COMPANY	21-78	498.67
TR045	TRUCK CENTERS, INC	21-78	183.79
UN027	UNIFIRST CORPORATION	21-78	92.95
**TOTAL SEWER PLANT			51,677.69

21 SEWER OPERATION & MAINTENANCE	GRAND TOTAL	55,638.77
----------------------------------	-------------	-----------

VENDOR #	NAME	DEPT.	AMOUNT
=====			
22	SEWER REPAIR & REPLACEMENT FUND		
8071	HACH COMPANY	22-00	5,542.37
	**TOTAL		----- 5,542.37
	22 SEWER REPAIR & REPLACEMENT FUND GRAND TOTAL		5,542.37

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T

SYS TIME:15:08

DATE: 09/18/17

Monday September 18,2017

[NCS]  
PAGE 13

VENDOR #	NAME	DEPT.	AMOUNT
=====			
24	SEWER CONSTRUCTION FUND		
GO028	GONZALEZ COMPANIES, LLC	24-00	5,292.50
HA015	HAIER PLUMBING & HEATING, INC.	24-00	816,767.82
	**TOTAL		822,060.32
			-----
24	SEWER CONSTRUCTION FUND	GRAND TOTAL	822,060.32

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T  
Monday September 18,2017

SYS TIME:15:08  
[NCS]  
PAGE 14

DATE: 09/18/17

VENDOR #	NAME	DEPT.	AMOUNT
25	SEWER BOND AND INTEREST FUND		
6086	ILLINOIS EPA	25-00	81,008.94
	**TOTAL		81,008.94
	25 SEWER BOND AND INTEREST FUND	GRAND TOTAL	81,008.94

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T

SYS TIME:15:08

DATE: 09/18/17

Monday September 18,2017

[NCS]  
PAGE 15

VENDOR #	NAME	DEPT.	AMOUNT
=====			
30	SPECIAL SERVICE AREA		
551	ILLINOIS AMERICAN WATER	30-00	25.50
CO139	CONSTELLATION NEW ENERGY, INC	30-00	53.72
	**TOTAL		----- 79.22
	30 SPECIAL SERVICE AREA	GRAND TOTAL	79.22

VENDOR #	NAME	DEPT.	AMOUNT
----------	------	-------	--------

38 TIF 3 (CITY OF BELLEVILLE)

486	HANK'S EXCAVATING & LANDSCAPING,	38-00	51,720.93
EL001	ELECTRICO, INC.	38-00	5,152.74
EN009	ENVIRONMENTAL CONSULTANTS LLC	38-00	2,500.00
VO006	VOLKERT INC	38-00	8,000.00

	**TOTAL		67,373.67
--	---------	--	-----------

38 TIF 3 (CITY OF BELLEVILLE)	GRAND TOTAL	67,373.67
-------------------------------	-------------	-----------

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T  
Monday September 18,2017

SYS TIME:15:08  
[NCS]  
PAGE 17

DATE: 09/18/17

VENDOR #	NAME	DEPT.	AMOUNT
44	BELLEVILLE ILLINOIS TOURISM		
3586	GREATER BELLEVILE CHAMBER OF COMM	44-00	4,367.25
	**TOTAL		4,367.25
	44 BELLEVILLE ILLINOIS TOURISM	GRAND TOTAL	4,367.25

VENDOR #	NAME	DEPT.	AMOUNT
=====			
45	2015 PD PROJECT CONSTRUCTION FUN		
EN009	ENVIRONMENTAL CONSULTANTS LLC	45-00	9,197.72
IM006	IMPACT STRATEGIES INC	45-00	861,847.65
TH048	THE BANK OF EDWARDSVILLE	45-00	3,988.16
	**TOTAL		875,033.53
	45 2015 PD PROJECT CONSTRUCTION FUNGRAND TOTAL		875,033.53

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T  
Monday September 18,2017

SYS TIME:15:08  
[NCS]  
PAGE 19

DATE: 09/18/17

VENDOR #	NAME	DEPT.	AMOUNT
50	TIF 8 (DOWNTOWN SOUTH)		
VO006	VOLKERT INC	50-00	500.00
	**TOTAL		500.00
	50 TIF 8 (DOWNTOWN SOUTH)	GRAND TOTAL	500.00

VENDOR #	NAME	DEPT.	AMOUNT
51 TIF 9 (SOUTHWINDS ESTATE)			
VO006	VOLKERT INC	51-00	500.00
	**TOTAL		500.00
	51 TIF 9 (SOUTHWINDS ESTATE)	GRAND TOTAL	500.00

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T

SYS TIME:15:08

DATE: 09/18/17

Monday September 18,2017

[NCS]  
PAGE 21

VENDOR #	NAME	DEPT.	AMOUNT
=====			
52	TIF 10 (LOWER RICHLAND CREEK)		
VO006	VOLKERT INC	52-00	1,000.00
	**TOTAL		----- 1,000.00
	52 TIF 10 (LOWER RICHLAND CREEK)	GRAND TOTAL	1,000.00

VENDOR #	NAME	DEPT.	AMOUNT
=====			
53	TIF 11 (INDUSTRIAL JOB RECOVERY)		
VO006	VOLKERT INC	53-00	500.00
	**TOTAL		----- 500.00
	53 TIF 11 (INDUSTRIAL JOB RECOVERY)GRAND TOTAL		500.00

VENDOR #	NAME	DEPT.	AMOUNT
54	TIF 12 (SHERMAN STREET)		
V0006	VOLKERT INC	54-00	500.00
	**TOTAL		500.00
	54 TIF 12 (SHERMAN STREET)	GRAND TOTAL	500.00

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T  
Monday September 18,2017

SYS TIME:15:08  
[NCS]  
PAGE 24

DATE: 09/18/17

VENDOR #	NAME	DEPT.	AMOUNT
55	TIF 13 (DRAKE ROAD)		
VO006	VOLKERT INC	55-00	500.00
	**TOTAL		500.00
	55 TIF 13 (DRAKE ROAD)	GRAND TOTAL	500.00

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T  
Monday September 18,2017

SYS TIME:15:08  
[NCS]  
PAGE 25

DATE: 09/18/17

VENDOR #	NAME	DEPT.	AMOUNT
56	TIF 14 (ROUTE 15 EAST)		
VO006	VOLKERT INC	56-00	500.00
	**TOTAL		500.00
	56 TIF 14 (ROUTE 15 EAST)	GRAND TOTAL	500.00

VENDOR #	NAME	DEPT.	AMOUNT
=====			
57	TIF 15 (CARLYLE GREENMOUNT)		
UM001	UMB BANK NA	57-00	193,651.20
	**TOTAL		193,651.20
	57 TIF 15 (CARLYLE GREENMOUNT)	GRAND TOTAL	193,651.20

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T  
Monday September 18,2017

SYS TIME:15:08  
[NCS]  
PAGE 27

DATE: 09/18/17

VENDOR #	NAME	DEPT.	AMOUNT
=====			
58	TIF 16 (ROUTE 15 WEST CORRIDOR)		
KA009	KASKASKIA ENGINEERING GROUP LLC	58-00	10,960.00
	**TOTAL		----- 10,960.00
	58 TIF 16 (ROUTE 15 WEST CORRIDOR) GRAND TOTAL		10,960.00

VENDOR #	NAME	DEPT.	AMOUNT
71	POLICE TRUST		
TH048	THE BANK OF EDWARDSVILLE	71-00	418.52
	**TOTAL		418.52
	71 POLICE TRUST	GRAND TOTAL	418.52

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T  
Monday September 18,2017

SYS TIME:15:08  
[NCS]  
PAGE 29

DATE: 09/18/17

VENDOR #	NAME	DEPT.	AMOUNT
=====			
72	NARCOTICS		
IM006	IMPACT STRATEGIES INC	72-00	2,446.00
NI016	NITV FEDERAL SERVICES, LLC	72-00	8,255.00
TH048	THE BANK OF EDWARDSVILLE	72-00	5.00
	**TOTAL		----- 10,706.00
72	NARCOTICS	GRAND TOTAL	10,706.00

VENDOR #	NAME	DEPT.	AMOUNT
75	TIF 17 (EAST MAIN STREET )		
8042	CONKRIGHT, INC.	75-00	3,627.57
	**TOTAL		3,627.57
	75 TIF 17 (EAST MAIN STREET )	GRAND TOTAL	3,627.57

SYS DATE:09/12/17

CITY OF BELLEVILLE  
C L A I M S H E E T

SYS TIME:15:08

DATE: 09/18/17

Monday September 18,2017

[NCS]  
PAGE 31

VENDOR #	NAME	DEPT.	AMOUNT
=====			
77	TIF 19 (FRANK SCOTT PARKWAY)		
UM001	UMB BANK NA	77-00	179,796.12
	**TOTAL		----- 179,796.12
	77 TIF 19 (FRANK SCOTT PARKWAY)	GRAND TOTAL	179,796.12

VENDOR #	NAME	DEPT.	AMOUNT
----------	------	-------	--------

78 TIF 20 - RT. 15 / S. GREEN MT

EC007	ECKERT'S COUNTRY STORE AND FARMS	78-00	11,558.67
-------	----------------------------------	-------	-----------

	**TOTAL		11,558.67
--	---------	--	-----------

78 TIF 20 - RT. 15 / S. GREEN MT	GRAND TOTAL	11,558.67
----------------------------------	-------------	-----------

GRAND TOTAL FOR ALL FUNDS:	2,940,356.00
----------------------------	--------------

TOTAL FOR REGULAR CHECKS:	2,867,944.94
---------------------------	--------------

TOTAL FOR DIRECT PAY VENDORS:	72,411.06
-------------------------------	-----------

PAYROLL BREAKDOWN AS PER G/L DISTRIBUTION REPORT

PAYROLL ENDING DATE: **15-Sep-17**

DESCRIPTION:

01 50	ADMINISTRATION	<u>15019.96</u>
01 51	POLICE	<u>287256.90</u>
01 52	FIRE	<u>194157.48</u>
01 53	STREET	<u>49858.04</u>
01 54	PARKS	<u>15272.45</u>
01 55	CEMETERY	<u>6081.76</u>
01 56	SANITATION	<u>33682.43</u>
01 60	LEGAL	<u>6863.49</u>
01 61	HOUSING & INSPECTORS	<u>23698.53</u>
01 62	ECONOMIC DEVELOPMENT & PLANNING	<u>6952.45</u>
01 82	MAYOR	<u>5746.20</u>
01 83	FINANCE	<u>8779.97</u>
01 84	HUMAN RESOURCE	<u>5285.03</u>
01 85	CLERK	<u>7440.44</u>
01 86	TREASURER	<u>5368.50</u>
01 87	MAINTENANCE	<u>17720.71</u>
01 88	ENGINEER	<u>6491.01</u>
	<b>TOTAL GENERAL FUND</b>	<b><u>695675.35</u></b>
12 26	G & C ASSISTANCE	<u>2170.27</u>
	<b>TOTAL G &amp; C ASSISTANCE</b>	<b><u>2170.27</u></b>
21 75	SEWER COLLECTIONS	<u>8523.05</u>
21 77	SEWER LINES	<u>14191.30</u>
21 78	SEWER PLANT	<u>45846.21</u>
	<b>TOTAL SEWER DEPARTMENT</b>	<b><u>68560.56</u></b>
4	LIBRARY	<u>29398.92</u>
7	RECREATION	<u>11097.30</u>
16	Employer's Portion of FICA (06-00-21500) cr	<u>33310.14</u>
	<b>*****TOTAL PAYROLL</b>	<b><u>840212.54</u></b>

## John Hartmann

---

**From:** John Menendez [johnm@elliottequipco.com]  
**Sent:** Friday, September 08, 2017 1:31 PM  
**To:** John Hartmann  
**Subject:** Fw: Belleville  
**Attachments:** 20170810\_105117.jpg; 20170810\_105131.jpg; 20170810\_105150.jpg; 20170810\_105206.jpg; DSC05572.JPG

John,

The rear load body pictures.

### **John Menendez**

Sales Representative  
Elliott Equipment Company  
Cell: 314-973-7256  
[johnm@elliottequipco.com](mailto:johnm@elliottequipco.com)

Like us on [Facebook](#)

Follow us on [Twitter](#)

View Current Inventory on our [Website](#)



---

**From:** Rick VanWassenhove  
**Sent:** Friday, September 8, 2017 1:24 PM  
**To:** John Menendez  
**Subject:** RE: Belleville

See attached, let me know if you need anything else, thanks

Rick VanWassenhove  
Vice President

Elliott Equipment Company  
3100 W. 76<sup>th</sup> St.  
Davenport, IA 52806  
Phone:563-391-4840 ext. 2101  
Cell:309-525-0082  
Fax:515-986-9530  
Email: [elliott@elliottequipco.com](mailto:elliott@elliottequipco.com)  
Like us on [Facebook](#)



3100 West 76th Street  
 Davenport, IA 52806  
 Ph: 563-391-4840

Elliott Sanitation Equip. Co.  
 1245 Dawes Avenue  
 Lincoln, NE 68521  
 Ph: 402-474-4840

# Quote

Date	Quote #
9/8/2017	8510
Proposed Shipping Date	
60 days	
Terms	
Due on receipt	
Rep	
JRM	

4000 SE Beisser Drive  
 Grimes, IA 50111  
 Ph: 515-986-4840  
 Fx: 515-986-9530

14001 Botts Rd.  
 Grandview, MO 64030  
 Ph: 816-761-4840

4400 E 60th Ave  
 Commerce City, CO 80022  
 Ph: 303-853-4840

City of Belleville Sanitation Administrat  
 407 E. Lincoln  
 Belleville, IL 62226

**Here is our quotation on the goods named, subject to the conditions noted:**

*CONDITIONS: The prices and terms on this quotation are not subject to verbal changes or other agreements unless approved in writing by the Home Office of the Seller. Prices are based on costs and conditions existing on date of quotation and are subject to change by the Seller before final acceptance. All quotations and agreements are contingent upon strikes, accidents, fires, availability of materials and all other causes beyond our control. Typographical and stenographic errors subject to correction. Purchaser agrees to accept either overage or shortage not in excess of ten percent to be charged for pro-rata. Purchaser assumes liability for patent and copyright infringement when goods are made to Purchaser's specifications. When quotation specifies material to be furnished by the purchaser, ample allowance must be made for reasonable spoilage and material must be of suitable quality to facilitate efficient production.*

*Conditions not specifically stated herein shall be governed by established trade customs. Terms inconsistent with those stated herein which may appear on Purchaser's formal order will not be binding on the Seller.*

*TERMS: Equipment is due on receipt. Carts, Containers, Parts, & Service are Net 30 unless otherwise noted on your account. Balances over 30 days from date of invoice are subject to finance charges up to 1 1/2% per month.*

Qty	Item	Description	Price	Total
1	10669E	Stock #10669E, used 2009 International 7400, Maxxforce DT466 285 HP diesel, Allison 3500RDS automatic, single axle chassis, dual drive with stand up right hand drive, 16,000lb front, 23,000lb rear. About 50,000 miles and about 9,600 hours. VIN:1HTWCAAR79J192712. Note: Includes removal of existing body and mounting of used Heil 4000 20 cubic yard rear load packer body. Body will be white in color. Chassis will be pass a D.O.T. inspection by Elliott Equipment and body will be route ready and fully functional before delivery.	49,350.00	49,350.00
1	10670E	Stock #10670E, used 2009 International 7400, Maxxforce DT466 285 HP diesel, Allison 3500RDS automatic, single axle chassis, dual drive with stand up right hand drive, 16,000lb front, 23,000lb rear. About 51,447 miles and about 10,407 hours. VIN:1HTWCAAR99J192713. Note: Includes removal of existing body and mounting of used Heil 4000 20 cubic yard rear load packer body. Body will be white in color. Chassis will be pass a D.O.T. inspection by Elliott Equipment and body will be route ready and fully functional before delivery.	49,350.00	49,350.00

**\*\*Administrative Fee of \$150.00 will be added to all vehicle purchase transactions.\*\***

**Total**

TO CONFIRM ORDER, SIGN AND RETURN

X \_\_\_\_\_



3100 West 76th Street  
 Davenport, IA 52806  
 Ph: 563-391-4840

Elliott Sanitation Equip. Co.  
 1245 Dawes Avenue  
 Lincoln, NE 68521  
 Ph: 402-474-4840

# Quote

Date	Quote #
9/8/2017	8510
Proposed Shipping Date	
60 days	
Terms	
Due on receipt	
Rep	
JRM	

4000 SE Beisser Drive  
 Grimes, IA 50111  
 Ph: 515-986-4840  
 Fx: 515-986-9530

14001 Botts Rd.  
 Grandview, MO 64030  
 Ph: 816-761-4840

4400 E 60th Ave  
 Commerce City, CO 80022  
 Ph: 303-853-4840

City of Belleville Sanitation Administrat  
 407 E. Lincoln  
 Belleville, IL 62226

**Here is our quotation on the goods named, subject to the conditions noted:**

*CONDITIONS: The prices and terms on this quotation are not subject to verbal changes or other agreements unless approved in writing by the Home Office of the Seller. Prices are based on costs and conditions existing on date of quotation and are subject to change by the Seller before final acceptance. All quotations and agreements are contingent upon strikes, accidents, fires, availability of materials and all other causes beyond our control.*

*Typographical and stenographic errors subject to correction. Purchaser agrees to accept either overage or shortage not in excess of ten percent to be charged for pro-rata. Purchaser assumes liability for patent and copyright infringement when goods are made to Purchaser's specifications. When quotation specifies material to be furnished by the purchaser, ample allowance must be made for reasonable spoilage and material must be of suitable quality to facilitate efficient production.*

*Conditions not specifically stated herein shall be governed by established trade customs. Terms inconsistent with those stated herein which may appear on Purchaser's formal order will not be binding on the Seller.*

*TERMS: Equipment is due on receipt. Carts, Containers, Parts, & Service are Net 30 unless otherwise noted on your account. Balances over 30 days from date of invoice are subject to finance charges up to 1 1/2% per month.*

Qty	Item	Description	Price	Total
1	10671E	Stock #10671E, used 2009 International 7400, Maxxforce DT466 285 HP diesel, Allison 3500RDS automatic, single axle chassis, dual drive with stand up right hand drive, 16,000lb front, 23,000lb rear. About 48,609 miles and about 9,059 hours. VIN:1HTWCAAR09J192714. Note: Includes removal of existing body and mounting of used Heil 4000 20 cubic yard rear load packer body. Body will be white in color. Chassis will be pass a D.O.T. inspection by Elliott Equipment and body will be route ready and fully functional before delivery.	49,350.00	49,350.00
		Sales Tax	6.00%	0.00

**\*\*Administrative Fee of \$150.00 will be added to all vehicle purchase transactions.\*\***

<b>Total</b>	<b>\$148,050.00</b>
--------------	---------------------

TO CONFIRM ORDER, SIGN AND RETURN

X \_\_\_\_\_



Elliott Equipment Co.

800-786-4841 ext. 2101

## 2009 INTERNATIONAL 7400 KANN SLE SPLIT BODY 23YD SIDE

### LOADER #10670E



VIN: 1HTWCAAR99J192713

Year: 2009

Truck Make: International

Truck Model: 7400

Miles: 51,447

Hours: 10,407

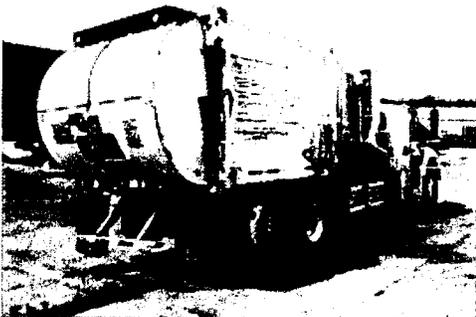
Engine Make & Model: Maxxforce DT

Horsepower: 285

Trans: Allison 3500RDS Automatic

Body Make: Kann

Body Model: SLE two compartment



International 7400, Maxxforce DT466 285 HP diesel, Allison 3500RDS automatic, single axle chassis, tag axle, dual drive with stand up right hand drive, 16,000lb front, 23,000lb rear, Kann SLE two compartment 23yd compacting style body with two compartment curbside trough-*In Davenport, Iowa*





Elliott Equipment Co.

800-786-4841 ext. 2101

## 2009 INTERNATIONAL 7400 KANN SLE SPLIT BODY 23YD SIDE LOADER #10669E



VIN:	1HTWCAAR79J192712
Year:	2009
Truck Make:	Intrnational
Truck Model:	7400
Miles:	50,000
Hours:	9,600
Engine Make & Model:	Maxxforce Dt
Horsepower:	285
Trans:	Allison 3500RDS Automatic
Body Make:	Kann
Body Model:	SLE
Body Capacity:	23yd



International 7400, Maxxforce DT466 285 HP diesel, Allison 3500RDS automatic, single axle chassis, tag axle, dual drive with stand up right hand drive, 16,000lb front, 23,000lb rear, Kann SLE two compartment 23yd compacting style body with two compartment curbside trough.-*In Davenport, Iowa*



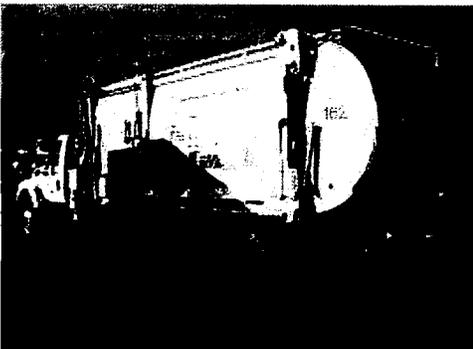
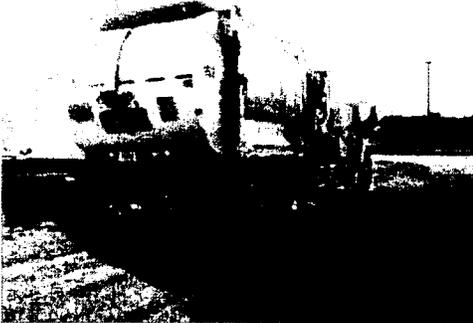
Elliott Equipment Co.

800-786-4841 ext. 2101

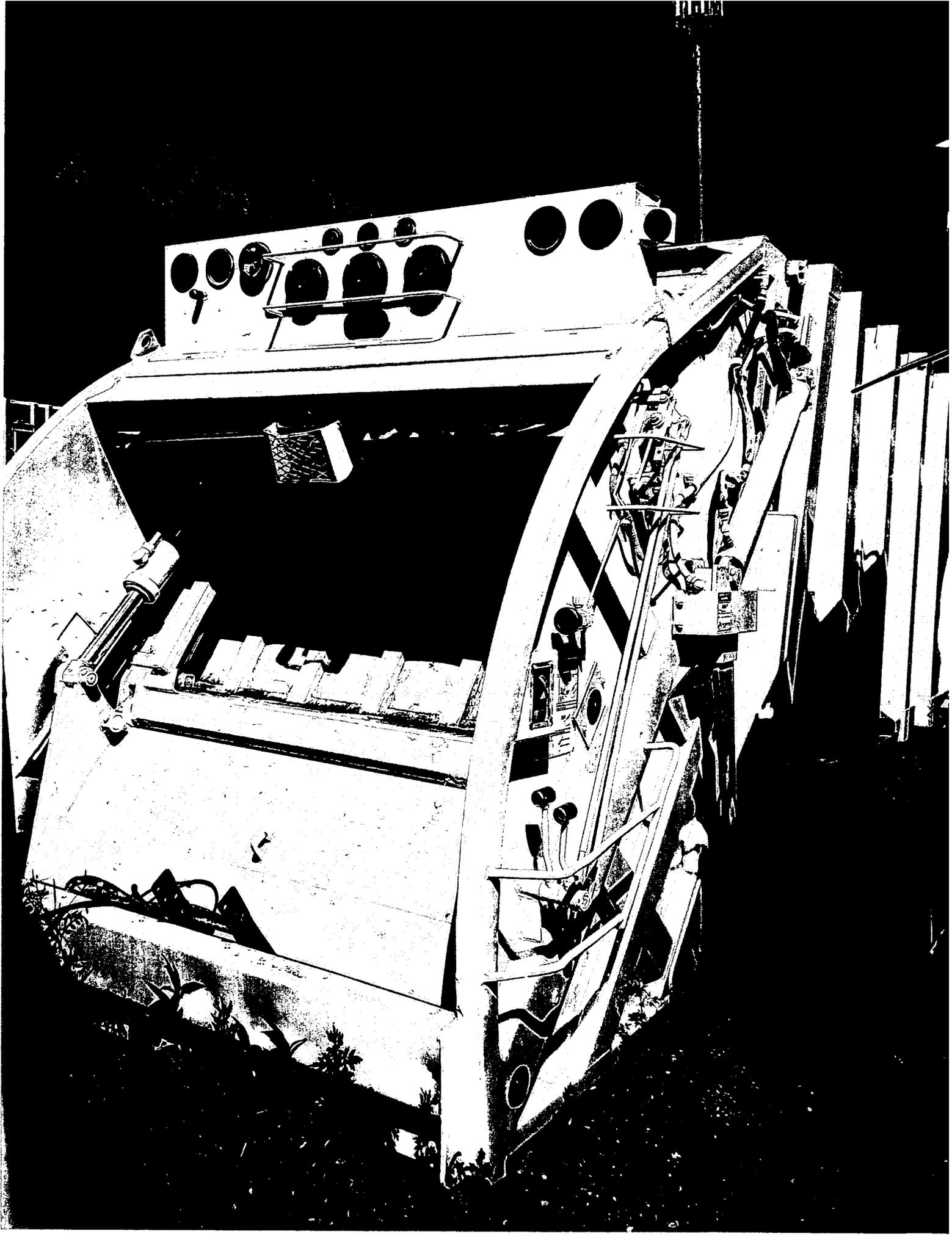
## 2009 INTERNATIONAL 7400 KANN SLE SPLIT BODY 23YD SIDE LOADER #10671E

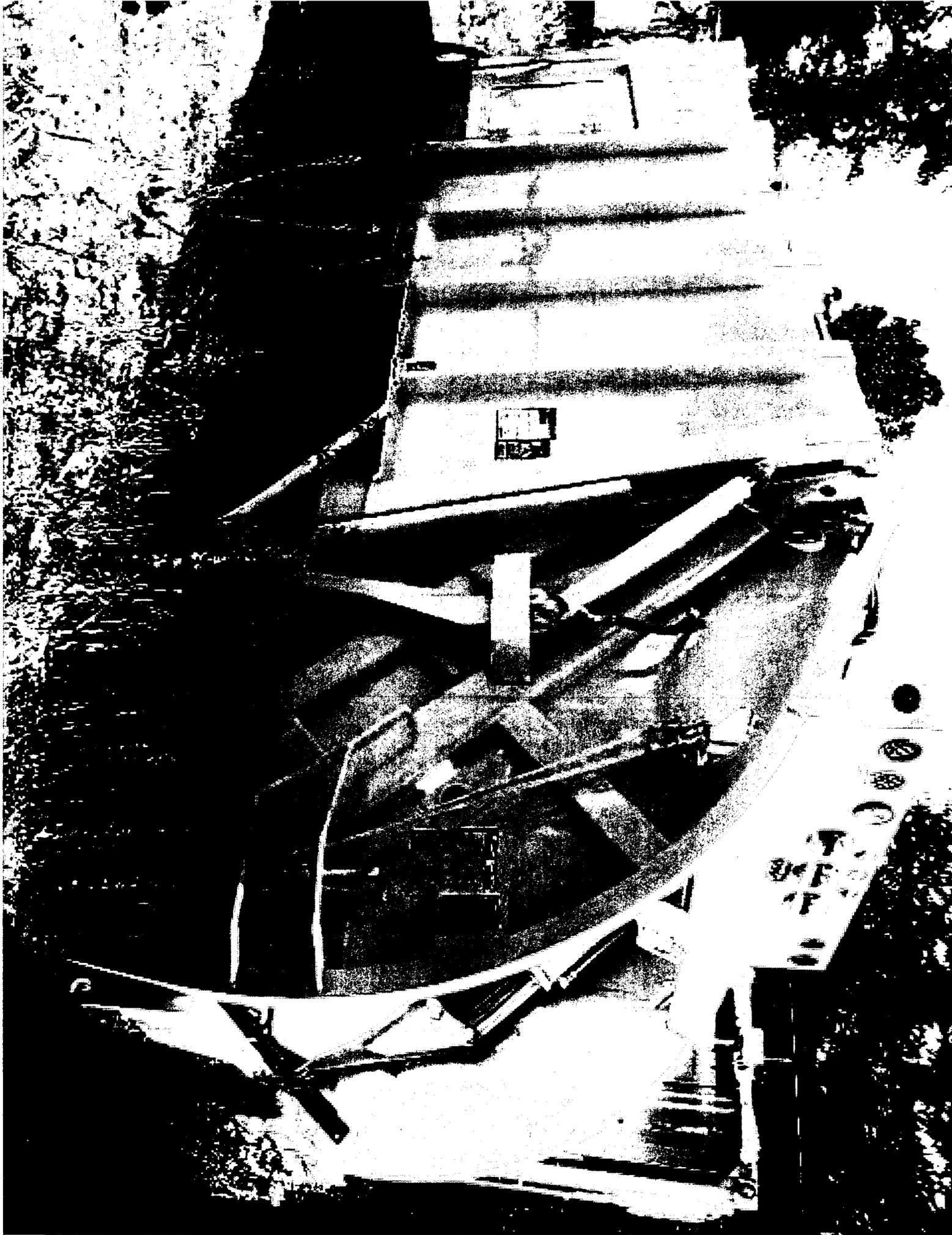


VIN:	1HTWCAAR09J192714
Year:	2009
Truck Make:	International
Truck Model:	7400
Miles:	48,609
Hours:	9,059
Engine Make & Model:	Maxxforce DT
Horsepower:	285
Trans:	Allison 3500RDS Automatic
Body Make:	Kann
Body Model:	SLE two compartment
Body Capacity:	23yd

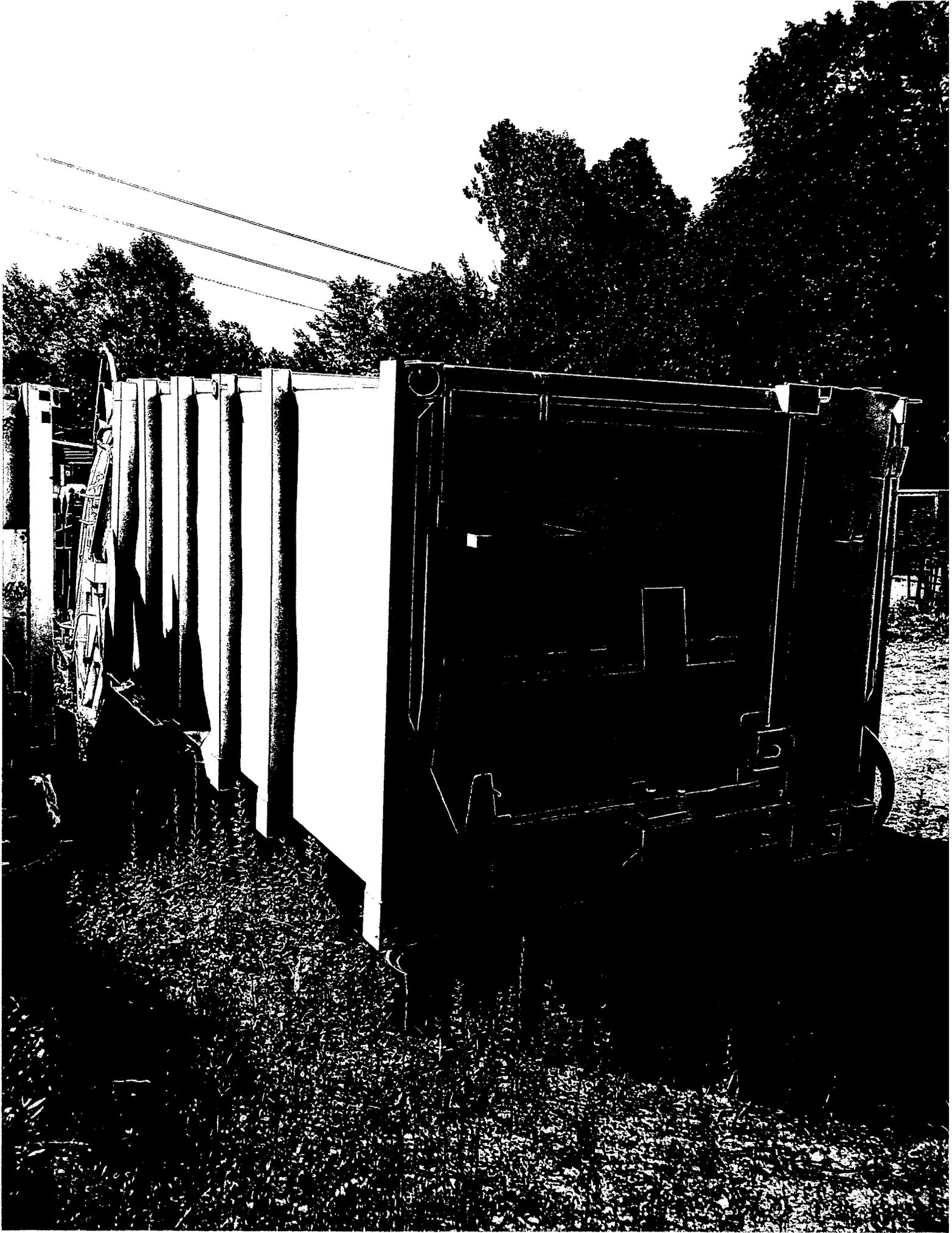


International 7400, Maxxforce DT466 285 HP diesel, Allison 3500RDS automatic, single axle chassis, tag axle, dual drive with stand up right hand drive, 16,000lb front, 23,000lb rear, Kann SLE two compartment 23 cu yd compacting style body with two compartment curbside trough-*In Davenport, Iowa*











## Jamie Maitret

---

**From:** Horak, Emily (G&B) [EHORAK@GilmoreBell.com]  
**Sent:** Monday, August 28, 2017 1:44 PM  
**To:** 'jmaitret@belleville.net'  
**Cc:** Flynn, Sean (G&B)  
**Subject:** Rebate Proposal - \$16,350,000 Belleville, IL Tax Increment Refunding Revenue Bonds (Frank Scott Parkway Redevelopment Project), Series 2007A (the "Bonds")

Dear Ms. Maitret:

Gilmore & Bell would like the opportunity to serve as Rebate Analyst for the above-referenced financing to determine any arbitrage rebate liability. As you may know, we completed the prior installment calculation as of September 1, 2012, and federal tax laws require that a rebate calculation be completed and, if applicable, a payment to the Federal Government be made at least every five years and upon final redemption or maturity of the Bonds. If rebate has been generated, it must be paid to the IRS within 60 days after the rebate calculation date, or be subject to interest and penalties.

As Rebate Analyst, we will prepare an installment rebate calculation, incorporating the results from the prior calculation, from September 1, 2012 to September 1, 2017. In addition to rendering our legal opinion along with this calculation, we will prepare a Form 8038-T for filing with the IRS if a rebate payment is required.

Our fee for serving as Rebate Analyst will be \$4,500, payable at the time the calculation is completed.

**Please reply to this email to acknowledge your agreement to this arrangement.** If you have any questions or concerns about the foregoing, please contact me.

Thank you,  
Emily Horak

**Emily Horak, Compliance Services Administrator | Gilmore & Bell, P.C.**

2405 Grand Boulevard | Suite 1100 | Kansas City, MO 64108

Phone: (816) 218-7561 | Fax: (816) 221-1018

[ehorak@gilmorebell.com](mailto:ehorak@gilmorebell.com)

♻️ *Please consider the environment before printing this email.*

600045.00004

This is an electronic mail transmission from the law firm of Gilmore & Bell, P.C. and may contain information that is privileged, confidential, and protected by the attorney-client or attorney-work product privileges. It is intended only for the addressees. If you are not an addressee, note that any disclosure, copying, distribution or use of the contents of this message is prohibited. If you have received this transmission in error, please notify us immediately via return e-mail to the sender and then delete the message or you may call the sender at telephone number 1-(800) 844-3232.

This E-Mail (including any attachments) may contain information related to a proposed financial structure and is provided based on the factual assumptions provided to Gilmore & Bell, P.C. by a party to or a representative of a party to the proposed transaction. Gilmore & Bell, P.C. is not a municipal financial advisor. This communication is intended to provide factual information only and is provided in conjunction with our legal representation. It is not intended as financial advice or a financial recommendation to any party.



**CITY OF BELLEVILLE, ILLINOIS  
ECONOMIC DEVELOPMENT, PLANNING, AND ZONING  
DEPARTMENT**

**APPLICATION FOR APPROVAL OF SUBDIVISION SKETCH  
PLAT**

Date: 08-28-17

Name of Subdivision and Phase (if applicable): Marco Plaza

Location: \_\_\_\_\_ Area of Entire Tract: 5.14 Acres

Section: 9 Number of Proposed Lots: 2

Township: 1 North Current Zoning: C-2 Heavy Commercial District

Range: 8 West Proposed Zoning: Same

Dedicated Green Space Area: .8 Acres

Name of Development Company: Glenwood Equities, LLC.

Attn: Pat Boehler

Street Address: 1415 Elbridge Payne Rd. Ste. 285

City: Chesterfield State: MO. Zip: 63017

Telephone: 636-534-5900 Ext 103 Email: pat@westmoregroup.com

Name of Engineering Company: MB Engineering, Inc.

Attn: Mike Buescher

Street Address: 768 Glen Mor Drive

City: Belleville State: IL. Zip: 62221

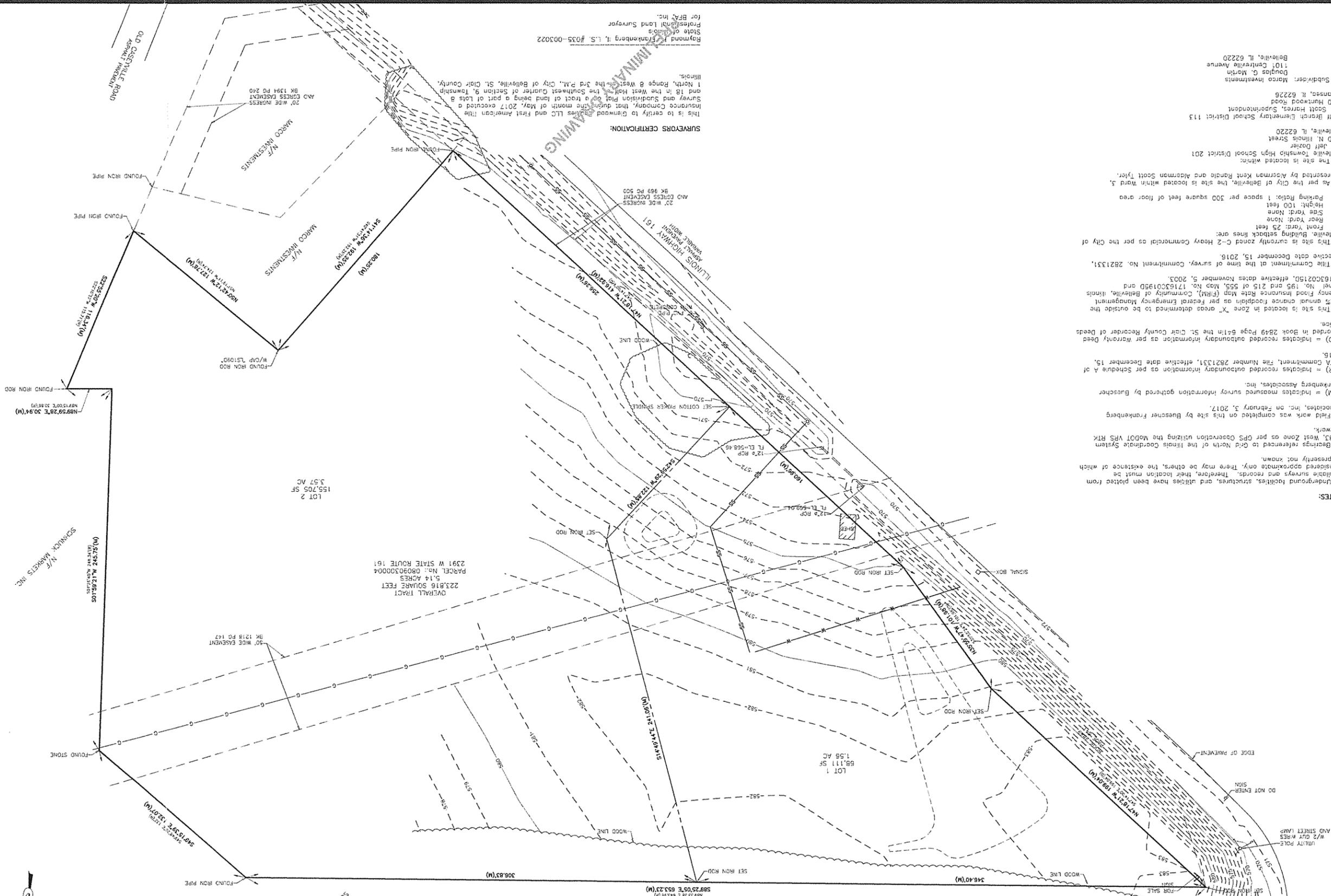
Telephone: 314-368-3040 Email: mbengineeringinc@gmail.com

I do hereby affirm that I am complying with the Subdivision Code of the City of Belleville.

Patrice E. Boehler 8-29-17  
Signature of Developer Date

M Buescher 8/28/17  
Signature of Engineer Date

# SKETCH PLAT MARCO PLAZA PLAT I A PART OF LOTS 8 AND 18 IN THE WEST HALF OF THE THIRD PRINCIPAL QUARTER OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 8 WEST OF THE THIRD PRINCIPAL MERIDIAN, CITY OF BELLEVILLE, ST. CLAIR COUNTY, ILLINOIS



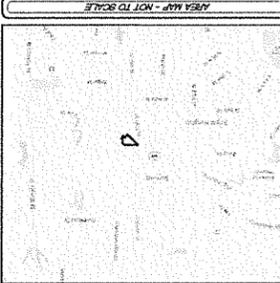
Raymond J. Frankenberg II, L.S. #035-003022  
Professional Land Surveyor  
for BFA, Inc.

**SURVEYORS CERTIFICATION:**  
This is to certify to Glenwood Equities LLC and First American Title Insurance Company, that during the month of May, 2017 executed a Survey and Subdivision Plat for a tract of land being a part of Lots 8 and 18 in the West Half of the Southwest Quarter of Section 9, Township 1 North, Range 8 West of the 3rd P.M., City of Belleville, St. Clair County, Illinois.

- NOTES:**
1. Underground facilities, structures, and utilities have been plotted from available surveys and records. There may be others, their location must be considered approximate only. Therefore, their location must be is presently not known.
  2. Bearings referenced to Grid North of the Illinois Coordinate System 1983, West Zone as per OPS Observation utilizing the ModOT VRS RTK Network.
  3. Field work was completed on this site by Buescher Frankenberg Associates, Inc. on February 3, 2017.
  - (M) = Indicates measured survey information gathered by Buescher Frankenberg Associates, Inc.
  - (2) = Indicates recorded outboundary information as per Schedule A of ALTA Commitment, file Number 2821331, effective date December 15, 2016.
  - (D) = Indicates recorded outboundary information as per Warranty Deed recorded in Book 2849 Page 64 in the St. Clair County Recorder of Deeds Office.
  4. This site is located in Zone "X" areas determined to be outside the Agency Flood Insurance Rate Map (FIRM), Community of Belleville, Illinois Panel No. 195 and 215 of 555, Map No. 171530195D and 171530215D, effective dates November 5, 2003.
  5. Title Commitment at the time of survey, Commitment No. 2821331, effective date December 15, 2016.
  6. This site is currently zoned C-2 Heavy Commercial as per the City of Belleville Building setback lines are:  
Front Yard: 25 feet  
Rear Yard: None  
Side Yard: None  
Height: 100 feet  
Parking Ratio: 1 space per 300 square feet of floor area
  7. As per the City of Belleville, the site is located within Ward 3, represented by Alderman Kent Ransie and Alderman Scott Tyler.
  8. The site is located within:  
Belleville Township High School District 201  
Dr. Jeff Dotter  
920 N. Lincoln Street  
Belleville, IL 62220
  9. Subdivided:  
Marco Investments  
1101 Centerville Avenue  
Douglas G. Martin  
Belleville, IL 62220

**ALTA/NSPS SURVEY LEGEND**

DESCRIPTION	EXISTING
AERIAL ELECTRIC	AC
UNDERGROUND ELECTRIC	UC
GAS LINE	C
WATERLINE	W
STORM SEWER	SS
EASEMENT	---
PROPERTY LINE	---
CONTOURS	---
UTILITY POLE	•



E-Mail: [mj@bhang.com](mailto:mj@bhang.com)  
TELEPHONE: (636) 239-4751  
**BFA**  
CONSULTANTS/ENGINEERS/SURVEYORS  
WASHINGTON, MISSOURI 63093  
103 ELM STREET

**GLENWOOD EQUITIES**  
City Of Belleville  
St. Clair County  
Illinois, 62220

1 OF 1

DRAWN	B.L.P.	CHECKED	M.R.F.	DATE	08/24/17
SCALE	1"=30'				
JOB No.	4304	SHEET NAME	SKETCH PLAT I		



**CITY OF BELLEVILLE, ILLINOIS**  
**ECONOMIC DEVELOPMENT, PLANNING AND ZONING DEPARTMENT**

**APPLICATION FOR APPROVAL OF PRELIMINARY  
 SUBDIVISION PLAT**

Date: 08-28-17

1. Name of Subdivision and Phase (if applicable): Marco Plaza

2. Location: Section: 9 Township: 1 North Range: 8 West  
 3. Area of Entire Tract: 5.14 Acres  
 4. Number of Proposed Lots: 2  
 5. Current Zoning: C-2 Heavy Commercial District  
 6. Proposed Zoning: Same

7. Dedicated Green Space Area: .8 acres

8. Name of Development Company: Glenwood Equities, LLC.  
 Attn: Pat Bohler  
 Street Address: 1415 Elbridge Payne Rd. Ste. 285  
 City: Chesterfield State: Missouri Zip: 63017  
 Telephone: 636-534-5900 Ext. 103 Email: pat@westmoregroup.com

9. Name of Engineering Company: MB Engineering, Inc.  
 Attn: Mike Buescher  
 Street Address: 768 Glen Mor Drive  
 City: Belleville State: Illinois Zip: 62221  
 Telephone: 314-368-3040 Email: mbengineeringinc@gmail.com

I do hereby affirm that I am complying with the Subdivision Code of the City of Belleville.

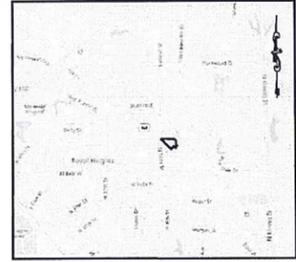
Patricia E Bohler 8-29-17  
 Signature of Developer Date

M Buescher 8/28/17  
 Signature of Engineer Date

# PRELIMINARY PLAT

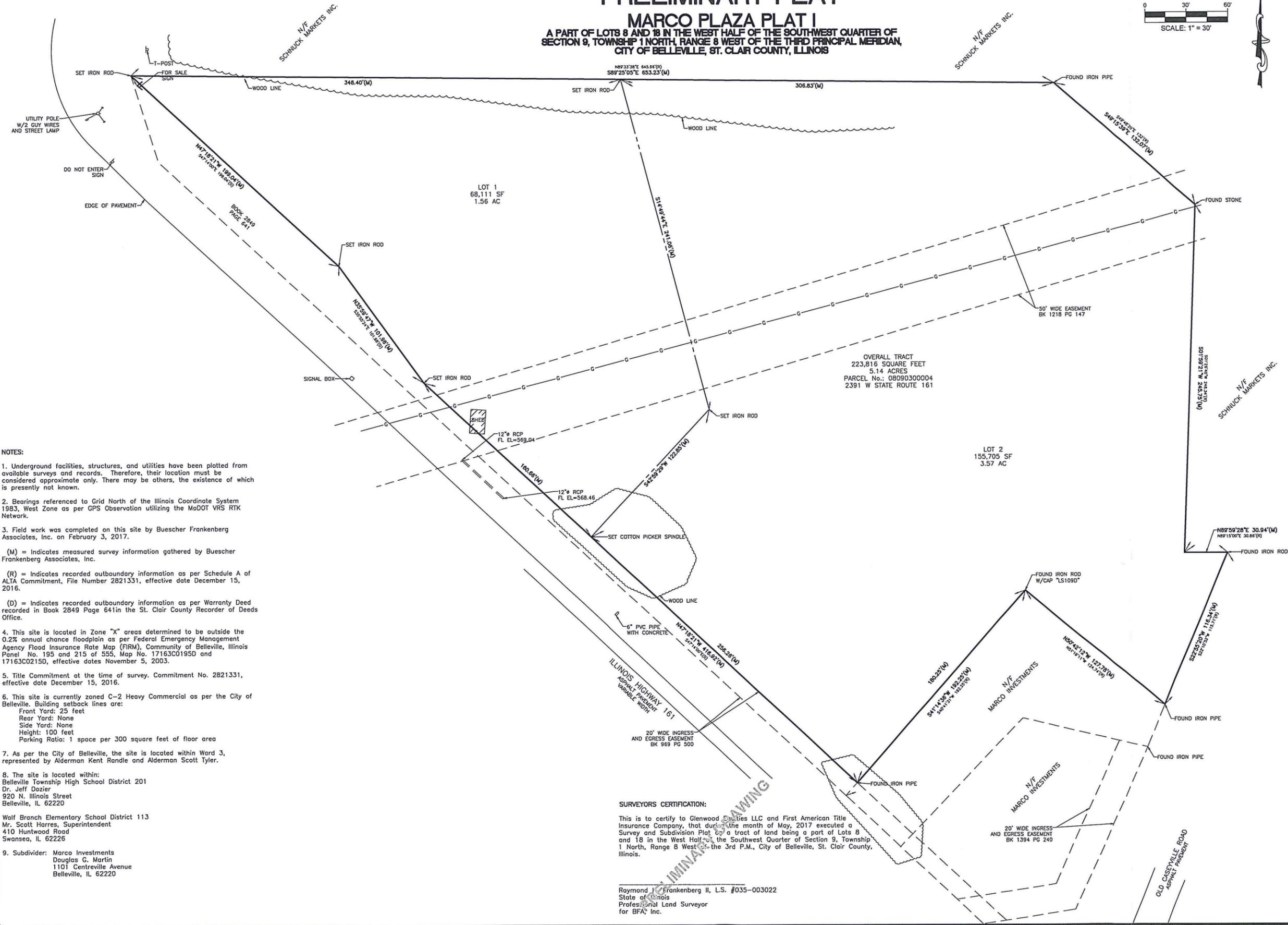
## MARCO PLAZA PLAT I

A PART OF LOTS 8 AND 18 IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 8 WEST OF THE THIRD PRINCIPAL MERIDIAN, CITY OF BELLEVILLE, ST. CLAIR COUNTY, ILLINOIS



AREA MAP - NOT TO SCALE

ALTA/NSPS SURVEY LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	— AE —
UNDERGROUND ELECTRIC	— UE —
GAS LINE	— G —
WATERLINE	— W —
STORM SEWER	=====
EASEMENT	— E —
PROPERTY LINE	— P —
CONTOURS	— 100 —
UTILITY POLE	•



- NOTES:**
- Underground facilities, structures, and utilities have been plotted from available surveys and records. Therefore, their location must be considered approximate only. There may be others, the existence of which is presently not known.
  - Bearings referenced to Grid North of the Illinois Coordinate System 1983, West Zone as per GPS Observation utilizing the MoDOT VRS RTK Network.
  - Field work was completed on this site by Buescher Frankenberg Associates, Inc. on February 3, 2017.
- (M) = Indicates measured survey information gathered by Buescher Frankenberg Associates, Inc.
- (R) = Indicates recorded outboundary information as per Schedule A of ALTA Commitment, File Number 2821331, effective date December 15, 2016.
- (D) = Indicates recorded outboundary information as per Warranty Deed recorded in Book 2849 Page 641 in the St. Clair County Recorder of Deeds Office.
- This site is located in Zone "X" areas determined to be outside the 0.2% annual chance floodplain as per Federal Emergency Management Agency Flood Insurance Rate Map (FIRM), Community of Belleville, Illinois Panel No. 195 and 215 of 555, Map No. 17163C0195D and 17163C0215D, effective dates November 5, 2003.
  - Title Commitment at the time of survey. Commitment No. 2821331, effective date December 15, 2016.
  - This site is currently zoned C-2 Heavy Commercial as per the City of Belleville. Building setback lines are:  
 Front Yard: 25 feet  
 Rear Yard: None  
 Side Yard: None  
 Height: 100 feet  
 Parking Ratio: 1 space per 300 square feet of floor area
  - As per the City of Belleville, the site is located within Ward 3, represented by Alderman Kent Randle and Alderman Scott Tyler.
  - The site is located within:  
 Belleville Township High School District 201  
 Dr. Jeff Dozier  
 920 N. Illinois Street  
 Belleville, IL 62220
  - Wolf Branch Elementary School District 113  
 Mr. Scott Harres, Superintendent  
 410 Huntwood Road  
 Swansea, IL 62226
  - Subdivider: Marco Investments  
 Douglas G. Martin  
 1101 Centreville Avenue  
 Belleville, IL 62220

**SURVEYORS CERTIFICATION:**

This is to certify to Glenwood Equities LLC and First American Title Insurance Company, that during the month of May, 2017 executed a Survey and Subdivision Plat of a tract of land being a part of Lots 8 and 18 in the West Half of the Southwest Quarter of Section 9, Township 1 North, Range 8 West of the 3rd P.M., City of Belleville, St. Clair County, Illinois.

Raymond J. Frankenberg II, L.S. #035-003022  
 State of Illinois  
 Professional Land Surveyor  
 for BFA, Inc.

TELEPHONE: (636) 239-1751  
 E-Mail: [mail@bfaeng.com](mailto:mail@bfaeng.com)

# BFA

CONSULTANTS-ENGINEERS-SURVEYORS

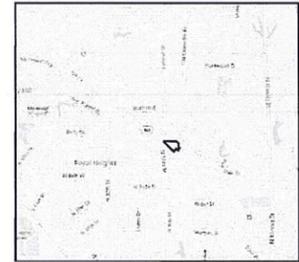
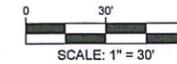
103 ELM STREET  
 WASHINGTON, MISSOURI 63090

**GLENWOOD EQUITIES**  
 City of Belleville  
 St. Clair County  
 Illinois, 62220

DRAWN	B.L.P.
CHECKED	M.R.F.
DATE	08/24/17
SCALE	1"=30'
JOB No.	4504
SHEET NAME	SUBDIVISION PLAT

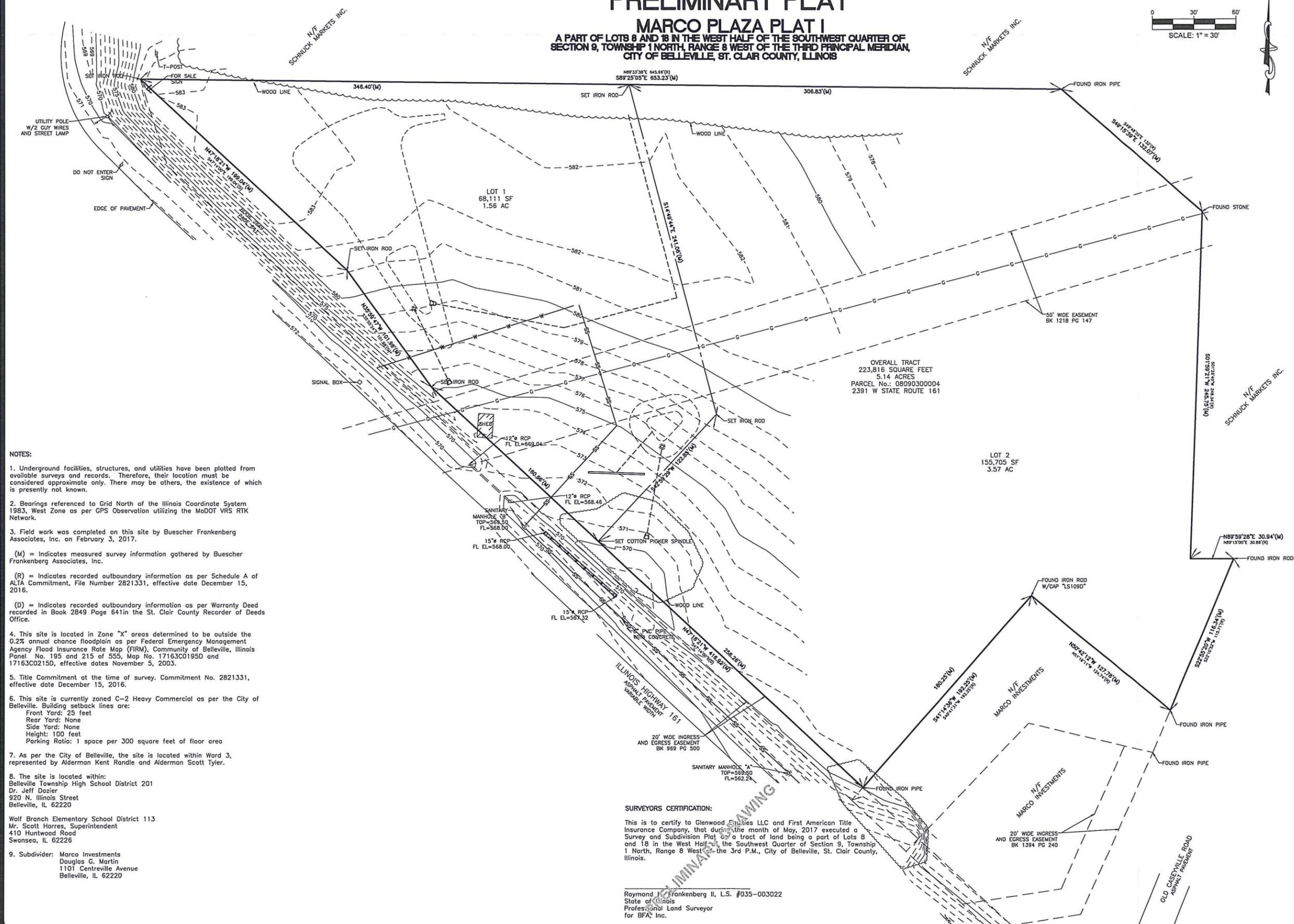
# PRELIMINARY PLAT

**MARCO PLAZA PLAT I**  
 A PART OF LOTS 8 AND 18 IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 8 WEST OF THE THIRD PRINCIPAL MERIDIAN, CITY OF BELLEVILLE, ST. CLAIR COUNTY, ILLINOIS



AREA MAP - NOT TO SCALE

ALTA/NSPS SURVEY LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	— AE —
UNDERGROUND ELECTRIC	— UE —
GAS LINE	— G —
WATERLINE	— W —
STORM SEWER	=====
EASEMENT	=====
PROPERTY LINE	=====
CONTOURS	--- 100 ---
UTILITY POLE	•



- NOTES:**
- Underground facilities, structures, and utilities have been plotted from available surveys and records. Therefore, their location must be considered approximate only. There may be others, the existence of which is presently not known.
  - Bearings referenced to Grid North of the Illinois Coordinate System 1983, West Zone as per GPS Observation utilizing the MoDOT VRS RTK Network.
  - Field work was completed on this site by Buescher Frankenberg Associates, Inc. on February 3, 2017.
  - (M) = Indicates measured survey information gathered by Buescher Frankenberg Associates, Inc.
  - (R) = Indicates recorded outboundary information as per Schedule A of ALTA Commitment, File Number 2821331, effective date December 15, 2016.
  - (D) = Indicates recorded outboundary information as per Warranty Deed recorded in Book 2849 Page 641 in the St. Clair County Recorder of Deeds Office.
  - This site is located in Zone "X" areas determined to be outside the 0.2% annual chance floodplain as per Federal Emergency Management Agency Flood Insurance Rate Map (FIRM), Community of Belleville, Illinois Panel No. 195 and 215 of 555, Map No. 17163C0195D and 17163C0215D, effective dates November 5, 2003.
  - Title Commitment at the time of survey. Commitment No. 2821331, effective date December 15, 2016.
  - This site is currently zoned C-2 Heavy Commercial as per the City of Belleville. Building setback lines are:  
 Front Yard: 25 feet  
 Rear Yard: None  
 Side Yard: None  
 Height: 100 feet  
 Parking Ratio: 1 space per 300 square feet of floor area
  - As per the City of Belleville, the site is located within Ward 3, represented by Alderman Kent Randle and Alderman Scott Tyler.
  - The site is located within:  
 Belleville Township High School District 201  
 Dr. Jeff Dozier  
 920 N. Illinois Street  
 Belleville, IL 62220  
 Wolf Branch Elementary School District 113  
 Mr. Scott Harres, Superintendent  
 410 Huntwood Road  
 Swansea, IL 62226
  - Subdivider: Marco Investments  
 Douglas G. Martin  
 1101 Centerville Avenue  
 Belleville, IL 62220

**SURVEYORS CERTIFICATION:**  
 This is to certify to Glenwood Equities LLC and First American Title Insurance Company, that during the month of May, 2017 executed a Survey and Subdivision Plat of a tract of land being a part of Lots 8 and 18 in the West Half of the Southwest Quarter of Section 9, Township 1 North, Range 8 West of the 3rd P.M., City of Belleville, St. Clair County, Illinois.

Raymond J. Frankenberg II, L.S. #035-003022  
 State of Illinois  
 Professional Land Surveyor  
 for BFA, Inc.

E-Mail: mail@bfaeng.com  
 TELEPHONE: (636) 239-4751  
**BFA**  
 CONSULTANTS-ENGINEERS-SURVEYORS  
 WASHINGTON, MISSOURI 63090  
 103 ELM STREET

**GLENWOOD EQUITIES**  
 City of Belleville  
 St. Clair County  
 Illinois, 62220

DRAWN	B.L.P.
CHECKED	M.R.F.
DATE	08/24/17
SCALE	1"=30'
JOB No.	4504
SHEET NAME	SUBDIVISION PLAT

SITE CLEARING

- A. PROJECT CONDITIONS: Traffic: Conduct site-clearing operations to ensure minimum interference with roads, streets, walks, and other adjacent occupied or used facilities. Do not close or obstruct streets, walks, or other occupied or used facilities without permission from the governing City. Protection of Existing Improvements: Provide protections necessary to prevent damage to existing improvements indicated to remain in place. Protect improvements to remain in place. Adjoining shall contain particulate debris generated by its work activities from polluting the atmosphere or waterways. Blasting will not be permitted.
B. EXISTING SERVICES: General: Indicated locations are approximate; determine exact locations before commencing work. Arrange and pay for disconnecting, removing, capping, and plugging utilities. Notify affected utility companies in advance and obtain approval before starting this work. Place markers to indicate location of disconnected services. Identify service lines and capping locations on Project Record Documents. Protect all existing utilities shown to remain and those not shown.
C. SITE CLEARING: General: Except as otherwise indicated on the plans, remove trees, shrubs, grass, and other vegetation, ballards, retaining walls, fences, other roots. Cut minor roots of shrubs indicated to remain in a clean and careful manner where such roots and branches obstruct installation of new construction. Topsoil: Topsoil is defined as friable clay loam surface soil found to a depth of not less than 4 inches (100 mm). Satisfactory topsoil is reasonably free of subsoil, clay lumps, stones, and other objects over 2 inches (50 mm) in diameter, and without weeds, roots, and other objectionable material. Strip topsoil these indicated to be left standing. Clearing and Grubbing: Clear site of trees, shrubs, and other vegetation, except for and grubbing operations with satisfactory soil material, and other debris protruding through ground surface. Fill depressions caused by clearing 8 inches loose depth, and thoroughly compact each layer according to Section "EARTHWORK." All organic or other deleterious material shall be removed from requirements of Section "EARTHWORK." Areas containing such material shall be over-excavated and reconstructed with engineered fill according to the project site prior to construction. Removal of Improvements: Remove existing above-grade and below-grade improvements as indicated and as necessary to facilitate new construction. Removing abandoned underground piping or conduits interfering with construction is included under this Section. Remove sections of concrete pavement, concrete sidewalks, concrete aprons, or granite curb to the nearest joint when they are adjacent to those to remain.
D. DISPOSAL OF WASTE MATERIALS: Burning an Owner's Property: Burning is not permitted on Owner's property. Removal from Owner's Property: Remove waste materials from Owner's property and dispose of legally.
E. ENVIRONMENTAL PROTECTION: Prevent debris, soil erosion, pollutants and all other unacceptable material from entering the storm / sanitary sewer system. Prevent dust, smoke or other air borne material from polluting the atmosphere.
F. MONUMENT PROTECTION: Monuments, benchmarks and other reference features bounding this project shall be protected. Should these be disturbed in any manner, the Contractor shall have them replaced as approved by the Owner with no additional cost to the Owner.

EARTHWORK

- A. DEFINITIONS: Excavation consists of the removal of material encountered to subgrade elevations and the reuse or disposal of materials removed. Subgrade: The uppermost surface of an excavation or the top surface of a fill or backfill immediately below subbase, drainage fill, or topsoil materials. Borrow: Soil and base course in a paving system or the layer placed between the subgrade and the subbase and surface pavement in a paving system. Drainage Fill: Course of washed granular material supporting slab-on-grade placed to cut off upward capillary flow of pore water. Unshored excavation consists of an excavation of a basement or walk-out area. Structures: Buildings, foundations, retaining walls, slabs, tanks, curbs, mechanical and electrical appurtenances, or other man-made stationary features constructed above or below ground surface. Utilities include on-site underground pipes, conduits, ducts, and cables, as well as underground services within building lines.
B. QUALITY ASSURANCE: Codes and Standards: Perform earthwork complying with requirements of the current IDOT Standard Specifications. Testing and Inspection Service: Coordinate timing and scheduling of all earthwork activity with Owner's geotechnical consultant who will perform soil testing and inspection governing authorities, Owner, Engineer, Geotechnical Engineer, independent testing agencies, meet with representatives of the geotechnical consultant and the responsibilities including testing and inspection procedures and requirements. Notify participants at least 3 working days prior to convening conference.
C. PROJECT CONDITIONS: Existing Utilities: Do not interrupt existing utilities serving adjacent buildings except when permitted in writing by the Owner and Engineer and then only after acceptable temporary utility services have been provided. Provide a minimum 48-hours notice to the Engineer and Owner, and receive written notice to proceed before interrupting any utility. Contact utility-locator service for area where Project is located before excavating.
D. SOIL MATERIALS: Provide approved borrow soil materials, free of contaminants, from off-site when sufficient soil materials on-site are not available from any dimension, debris, waste, frozen materials, vegetation and other deleterious matter. Unsatisfactory Soil Materials: ASTM D 2487 soil classification groups GW, GP, GM, SW, SP, and SM; free of rock or gravel larger than 2 inches in size. Subbase and Base Material: Naturally or artificially graded mixture of natural or crushed gravel, crushed stone, and material: Subbase or base materials with 100 percent passing a 1 1/2 inch sieve and not more than 8 percent passing a No. 200 sieve. Bedding: Bedding evenly graded mixture of crushed stone, or crushed or uncrushed gravel, ASTM D 448, coarse aggregate grading size 57, with 100 percent passing a 1 1/2 inch sieve and not more than 5 percent passing a No. 8 sieve. Impervious Fill: Clayey gravel and sand mixture capable of compacting to a dense state. Engineered Fill: Naturally or artificially graded mixture of natural or crushed gravel, crushed stone, and natural or crushed sand; ASTM D 2940; with at least 90 percent passing a 1 1/2 inch (38-mm) sieve and not more than 12 percent passing a No. 200 (0.075-mm) sieve.
E. ACCESSORIES: Detectable Warning Tape: Acid- and alkali-resistant polyethylene film warning tape manufactured for marking and identifying underground utilities, 6-inches wide and 4-mil thick minimum, continuously inscribed with a description of the utility, with metallic core enclosed in a protective jacket for corrosion protection. Detectable by metal detector when tape is buried up to 30-inches deep. Top Colors: Provide tape colors to utilities as follows: Red: Electric. Yellow: Gas, oil, steam, and dangerous materials. Orange: Telephone and other communications. Blue: Water systems. Green: Sewer systems.
F. PREPARATION: Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, protective insulating materials as necessary. Provide erosion control measures to prevent erosion or displacement of soil and discharge of soil-bearing water runoff or airborne dust to adjacent properties, walkways, and sewer systems.
G. DEWATERING: Prevent surface water and subsurface or ground water from entering excavations, from ponding on prepared subgrades, and from flooding Project site and surrounding area. Protect subgrades and foundation soils from softening and damage by rain or water accumulation.
H. EXCAVATION: Do not use explosives. Unclassified Excavation: Excavation to subgrade elevations regardless of the character of surface and subsurface and rock, replace with satisfactory soil materials, at no additional cost to the Owner.
I. STABILITY OF EXCAVATIONS: Comply with local codes, ordinances, and requirements of authorities having jurisdiction to maintain stable excavations.
J. EXCAVATION FOR STRUCTURES: Excavate to indicated elevations and dimensions within a tolerance of plus or minus 0.1 feet. Extend excavations a sufficient distance from structures for placing and removing concrete formwork, installing services and other construction, and for inspections. Excavations for Footings and Foundations: Do not disturb bottom of excavation. Excavate by hand to final grade just before placing concrete reinforcement. Trim bottom to required lines and grades to leave solid base to receive other work.
K. EXCAVATION FOR WALKS AND PAVEMENTS: Excavate surfaces under walks and pavements to indicated cross sections, elevations, and grades.
L. EXCAVATION FOR UTILITY TRENCHES: Excavate trenches to indicated slopes, lines, depths, and invert elevations. Beyond bedding perimeter, excavate trenches to allow installation of top of pipe below frost line. Excavate trenches to uniform widths to provide a working clearance on each side of pipe or conduit. Excavate trench walls vertically from trench bottom to 12 inches higher than top of pipe or conduit, unless otherwise indicated. Trench Bottoms: Excavate trench bottoms to provide uniform bearing and support of pipes and conduits. Shape subgrade to provide continuous support for bells, joints, and inlets. Excavate barrets of pipes and for joints, fittings, and bodies of conduits. Remove stones and sharp objects to avoid point loading. For pipes or conduit less than 6 inches in nominal diameter and flat-bottomed, multiple-duct conduits, hand-excavate trench bottoms and support pipe and conduit on an undisturbed subgrade. For pipes and conduit 6 inches or larger in nominal diameter, shape bottom of trench to support bottom 90 degrees of pipe circumference. Fill depressions with tamped sand backfill. Where encountering rock or another unyielding bearing surface, carry trench excavation 6 inches below invert elevation to receive bedding course.
M. APPROVAL OF SUBGRADE: Notify Engineer and Owner's Geotechnical consultant when excavations have reached required subgrade. When Owner's Geotechnical Engineer determines that unforeseen unsatisfactory soil beneath subgrade is present, continue excavation and replacement with compacted backfill or fill material as directed. Unforeseen additional excavation and replacement material will be paid according to the Contract provisions for changes in Work. Proof roll Reconstruct subgrades damaged by freezing temperatures, frost, rain, accumulated water, or construction activities, as directed by the Engineer.
N. UNAUTHORIZED EXCAVATION: Fill unauthorized excavation under footings by extending indicated bottom elevation of concrete foundation or footing to excavation bottom, without altering required top elevation. Lean concrete fill may be used to bring elevations to proper position when acceptable to the Engineer. Fill unauthorized excavations under other construction as directed by the Engineer. Where indicated widths of utility trenches are exceeded, provide stronger pipe, or special installation procedures, as required by the Engineer.
O. STORAGE OF SOIL MATERIALS: Stockpile excavated materials acceptable for backfill and fill soil materials, including acceptable borrow materials. Stockpile soil materials without intermingling. Place, grade, and shape stockpiles to drain surface water. Cover to prevent wind-blown dust. Stockpile soil materials away from edge of excavations.
P. BACKFILL: Backfill excavations promptly, but not before completing the following: Acceptance of construction below finish grade including, where applicable, dewatering, waterproofing, and perimeter insulation. Surveying locations of underground utilities for record documents. Testing, inspecting, and approval of underground utilities. Concrete formwork removal. Removal of trash and debris from excavation.
Q. UTILITY TRENCH BACKFILL: Place and compact bedding course on rock and other unyielding bearing surfaces and to fill unauthorized excavations. Shape bedding course to provide continuous support for bells, joints, and barrets of pipes and for joints, fittings, and bodies of conduits. Concrete backfill trenches compact initial backfill of satisfactory soil material or subbase material, free of particles larger than 1 inch, to a height of 12 inches over the utility pipe or conduit. Backfill trenches beneath pavement with granular backfill to pavement base course. Carefully compact material under pipe hunches and bring with utilities testing. Place and compact final backfill of satisfactory soil material to final subgrade. Install warning tape directly above utilities, 12 inches above finished grade, except 6 inches below subgrade under pavements and slabs.
R. FILL: Preparation: Remove vegetation, topsoil, debris, wet, and unsatisfactory soil materials, obstructions, and deleterious materials from ground surface prior to placing fills. Plow strip, or break up sloped surfaces steeper than 1 vertical to 4 horizontal so fill material will bond with existing surface. When subgrade or erode soil and recompact to required density. Place fill material in layers to required elevations for each location listed below: Under grass, use subsoil material. Under steps and ramps, use subbase material. Under footings, use engineered fill.
S. MOISTURE CONTROL: Uniformly moisten or aerate subgrade and each subsequent fill or backfill layer before compaction to within 2 percent of optimum moisture content. Do not place backfill or fill material on surfaces that are muddy, frozen, or contain frost or ice. Remove and replace, or scarify and air-dry satisfactory soil material that is too wet to compact to specified density. Stockpile or spread and dry removed wet satisfactory soil material.
T. COMPACTION: Place backfill and fill materials in layers not more than 8 inches in loose depth for material compacted by heavy compaction equipment, and not more than 4 inches in loose depth for material compacted by hand-operated tampers. Place backfill and fill materials evenly on all sides of structures to not less than the following percentages of maximum dry density of each structure. Percentage of Maximum Dry Density Requirements: Compact soil below subgrade and each layer of backfill or fill material at 95 percent maximum dry density. Under walkways, compact the top 12 inches each layer of backfill or fill material at 92 percent maximum dry density. Under lawn or unpaved areas, compact the top 6 inches below subgrade and each layer of backfill or fill material at 90 percent maximum dry density.
U. GRADING: Uniformly grade areas to a smooth surface, free from irregular surface changes. Comply with compaction requirements and grade to cross sections, lines, and elevations indicated. Provide a smooth transition between existing adjacent grades and new grades. Cut out soft spots, fill low spots, and subgrade to required elevations within the following tolerances: Site Grading: Slope grades to direct water away from buildings and to prevent ponding. Finish Pavements: Plus or minus 1/2 inch.

V. FIELD QUALITY CONTROL: Testing Agency Services: Allow Owner's testing agency to inspect and test each subgrade and each fill or backfill layer. Do not proceed until test results for previously completed work verify compliance with requirements. Owner's testing agency may perform the following tests: Perform field in-place density tests according to ASTM D 1556 (sand cone method), ASTM D 2167 (rubber balloon method), or ASTM D 2937 (drive cylinder method), as applicable. Field in-place density tests may also be performed by the nuclear method according to ASTM D 2922, provided that calibration curves are periodically checked and adjusted to correlate to tests performed using ASTM D 1556. With each density calibration check, check the calibration curves are furnished with the moisture gauges according to ASTM D 3017. When field in-place density tests are performed using nuclear methods, make calibration checks of both density and moisture gauges at beginning of work, on each different type of material encountered, and at intervals as directed by the Engineer. Footing Subgrade: At footing subgrades, perform at least one test of each soil stratum to verify design-bearing capacities. Subsequent verification and approved Areas: At subgrade and at each compacted fill and backfill layer, perform at least one field in-place density test for every 2000 sq. ft. or less of paved in-place density test for each 150 feet or less of trench, but no fewer than two tests. When testing agency reports that subgrades, fills, or backfills are below specified density, scarify and moisten or aerate, or remove and replace soil to the depth required, recompact and retest until required density is obtained.

W. PROTECTION: Protecting Graded Areas: Protect newly graded areas from traffic, freezing, and erosion. Keep free of trash and debris. Repair and re-establish grades to specified tolerances where completed or partially completed surfaces become eroded, rutted, settled, or lose compaction due to subsequent construction operations or weather conditions. Scarify or remove and replace material to depth required to correct surface conditions. Moisture control moisture content to the required density. Settling: Where settling occurs during the Project correction period, remove finished surfacing, backfill with additional approved material, compact, and reconstruct surfacing. Restore appearance, quality, and condition of finished surfacing to match adjacent optimum and estimate evidence of restoration to the greatest extent possible.

X. DISPOSAL OF SURPLUS AND WASTE MATERIALS: Disposal: Remove surplus satisfactory soil and waste material, including unsatisfactory soil, trash, and debris, and legally dispose of it off Owner's property.

STORM AND SANITARY SEWERAGE

- A. DEFINITIONS: PVC: Polyvinyl chloride plastic.
B. PERFORMANCE REQUIREMENTS: Gravity-Flow, Nonpressure-Piping Pressure Ratings equal to air system test pressure.
C. SUBMITTALS: Product Data: For the following: Pipe. Trench Drains. Shop Drawings: Include details and attachments for the following: Precast concrete manholes, including frames and covers.
D. DELIVERY, STORAGE, AND HANDLING: Do not store plastic pipe, and fittings in direct sunlight. Protect pipe, pipefittings, and seals from dirt and damage. Handle precast concrete manholes and other structures according to manufacturer's written rigging instructions.
E. PROJECT CONDITIONS: Site Information: Notify local utility location service and verify existing utility locations. Existing Utilities: Do not interrupt utilities serving facilities occupied by Owner or other unless permitted under the following conditions and then only after arranging to provide temporary utility services without Owner's written permission.
F. MANUFACTURERS: Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following: Any manufacturer providing products that conform to these specifications and drawings.
G. PIPING MATERIALS: See drawings for piping materials and locations.
H. PIPES AND FITTINGS:
1. PVC Sewer Pipe and Fittings: According to the following: PVC Sewer Pipe and Fittings, PVC Sewer Pipe and Fittings, NPS 15 (DN1375) and Smaller: ASTM D 3034, SDR 35, for solvent-cemented or gasketed joints. PVC Sewer Pipe and Fittings, NPS 18 (DN1450) and Larger: ASTM F 679, 1-1 wall thickness, bell and spigot for gasketed joints. Gaskets: ASTM F 477, elastomeric seals. PVC Pressure Pipe: AWWA C900, Class 150, for gasketed joints. PVC Pressure Fittings: AWWA C907, for gasketed joints. Gaskets for PVC Piping: ASTM F 477, elastomeric seals.
2. Reinforced-Concrete Sewer Pipe and Fittings: ASTM C 76 (ASTM C 76M), Class III, Wall B, for gasketed joints. Gaskets: ASTM C 443 (ASTM C 443M), rubber.
A. SPECIAL PIPE COUPLINGS AND FITTINGS: See drawings for locations and type, if any.
B. MANHOLES: Heavy-Traffic Precast Concrete Manholes: ASTM C 913; designed according to ASTM C 890 for A-16, heavy-traffic, structural loading; of depth, shape, and dimensions indicated, with provision for rubber gasketed joints. Ballast: See drawings. Gaskets: Rubber. Grade Rings: See Drawings. Steps: Construct of reinforced-concrete bottom, walls, and top; designed according to ASTM C 890 for A-16, heavy-traffic, structural loading; of depth, shape, dimensions, and appurtenances indicated. Manhole Frames and Covers: In accordance with Governing Authorities requirements.

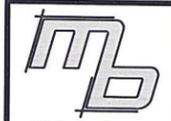
LAWN SEEDING

- A. Provide all equipment, materials, and labor to prepare seed bed and plant seeded bed in new and existing disturbed lawn areas as shown on drawings.
B. Submittals: Seeding schedule: Submit seeding schedule before beginning of construction. Show coordination of normal planting times with construction schedule, and other related work.
C. The seasons for seeding of lawn areas shall be from March 1 to May 15 and August 15 to October 15. The actual seeding of lawns shall be done, however, project and which are approved by the Architect. Only upon written instructions by the Architect may planting begin earlier or continue later than the dates specified.
D. Dormant season seeding of slope areas is acceptable in areas designated by the Owner or Architect. Dormant season seeding to be done in conjunction with installation of erosion control blankets.
E. The preparation of lawn areas to be seeded may begin as soon as the area is designated by the Owner or Architect.
F. Commercial Fertilizer: shall meet the following requirements:
1. Shall be a complete fertilizer containing in available form by weight a minimum of 10% nitrogen, 10% phosphoric acid and 10% potash; a minimum of 50 of the nitrogen to be derived from natural organic material in a slow release form and of a neutral character.
2. The fertilizer shall be delivered to the site in the original unopened containers which shall bear the manufacturer's guaranteed statement of analysis. Fertilizer shall be stored in a weatherproof place in such a manner that it shall be kept dry and its effectiveness will not be impaired.
G. Grass seed shall be fresh, clean, new-crop seed complying with tolerance for purity and germination established by Official Seed Analysts of North America. Provide seed mixture composed of grass species and proportions as specified. Mixture cannot contain more than .02% weed or crop seed, nor more than .3% inert material. Seed must be furnished and delivered premixed in the proportions specified below.
H. Grass seed shall be composed of the following varieties which shall be mixed in the proportions and shall test at the minimum percentage of purity and germination specified:
1. Kentucky 31 Fescue mix (for use in non-irrigated turf areas)
Scientific Name Proportion and Common Name By Weight Purity Germination
Festuco elatior 85% 98% 90%
"Kentucky 31"
Kentucky 31 Fescue
Lolium perenne 10% 98% 90%
"Manhattan"
Manhattan Ryegrass
Poa pratensis 5% 98% 85%
Kentucky Bluegrass V.N.S.
2. Weed seed content shall not exceed 0.25 of 1%.
I. Straw: Shall be threshed straw of hay, oats, wheat, barley, or rye, not chopped in short lengths.
J. Repair any eroded areas and make minor grading adjustments to provide good drainage and to meet all walks and paved surfaces.
K. Spread agricultural limestone over all areas to be seeded at the rate of 50 lbs. per 1000 s.f. (2178 lbs. per acre) with an approved vehicular spreader.
L. Spread fertilizer over all areas to be seeded at the rate of 15 lbs. per 1000 s.f. (654 lbs. per acre) with an approved spreader. Do not apply fertilizer in dormant season seeding areas.
M. Disc and harrow or otherwise cultivate all areas thoroughly in at least two directions to thoroughly mix the above fertilizers into the soil to a depth of four (4) inches.
N. After cultivating, hard rake area to remove clods, rocks (over 1" in largest dimension), weeds roots and debris. Perform grading and shaping refinements to bring surface to true uniform planes free from irregularities and to provide drainage and proper slope to catch basins.
O. With topsoil in semi-dry condition, roll lawn planting areas in two directions at approximately right angles with water ballast roller weighing 100 to 300 lbs. according to soil type.
P. Sow grass seed by mechanical spreaders of approved type, doing the work in two operations at right angles to each other.
Q. Seeding shall be at the following rate:
1. Kentucky 31 Fescue mix shall be seeded at the rate of 12 lbs. per 1000 sq.ft. (523 lbs. per acre).
R. Roll the seeded areas to firmly bed the seed and then spread straw on the seeded areas at the rate of two and a half (2 1/2) tons (dry weight) per acre. It shall be spread evenly and without damage to the seeded area.
S. During seeding work, keep pavements clean and work area in an orderly condition. Upon completion of work, clean area of all debris, superfluous materials and equipment and remove them from the premises.
T. Protect seeding work. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged seeding work as directed.
U. Maintenance shall begin immediately after seeding. Water regularly to keep lawn areas moist to maximize germination and maintain optimum growth and survival. Contractor is responsible to obtain necessary permits and pay fees associated with watering.
V. Maintain seeded areas by watering, fertilizing, removing weeds, mowing, trimming and reseeding as necessary, for a smooth, uniform, acceptable stand of established lawn, free of eroded or bare areas. Maintain lawn areas until final acceptance, but not less than 60 calendar days. Mowing of seeded lawn is the first mowing.
W. The Contractor shall guarantee the production of a close stand of the specified species of lawn grass. After grass has started, repeatedly reseed areas and part of areas which fail to show uniform stands of grass until all areas are covered with a satisfactory growth of grass. All repairs and reseeding are to be done as part of this Contract and of no extra cost to the Owners.
X. When seed work is completed, including maintenance, Architect will, upon request, make an on-site evaluation to determine acceptability.

CAST-IN-PLACE CONCRETE

- A. SUBMITTALS: In addition to the following, comply with submittal requirements in ACI 301. Product Data: For each type of manufactured material and product indicated. Design Mixes: For each concrete mix.
B. QUALITY ASSURANCE: Installer Qualifications: An experienced installer who has completed concrete work similar in material, design, and extent to that indicated for this Project and whose work has resulted in construction with a record of successful in-service performance. Manufacturer Qualifications: A firm experienced in manufacturing ready-mixed concrete products complying with ASTM C 94 requirements for production facilities and equipment. Source Limitations: Obtain each type of cement of the same brand from the same manufacturer's plant, each aggregate from one source, and each admixture from Contract Documents. Comply with ACI 301, "Specification for Structural Concrete," including the following, unless modified by the requirements of the form and accessories. Steel reinforcement and supports. Concrete mixtures. Handling, placing, and constructing concrete.
C. FORMWORK: Furnish formwork and form accessories according to ACI 301.
D. STEEL REINFORCEMENT: Reinforcing Bars: ASTM A 615/A 615M, Grade 60, deformed. Plain-Steel Wire: ASTM A B2, as drawn. Plain-Steel Welded Wire Fabric: ASTM A 185, fabricated from cold-drawn steel wire into flat sheets.
E. CONCRETE MATERIALS: Portland Cement: ASTM C 150, Type I or II. Normal-Weight Aggregate: ASTM C 33, uniformly graded, not exceeding 1-1/2-inch nominal size. Water: Potable and complying with ASTM C 94.
F. ADMIXTURES: Admixtures certified by manufacturer to contain not more than 0.1 percent water-soluble chloride ions by mass of cement and to be compatible with other admixtures. Do not use admixtures containing calcium chloride. Air-Entraining Admixture: ASTM C 260. Water-Reducing Admixture: ASTM C 494, Type A.
G. RELATED MATERIALS: Joint-Filler Strips: ASTM D 1751, asphalt-saturated cellulose fiber, or ASTM D 1752, cork or self-expanding cork.
H. CURING MATERIALS: Evaporation Retarder: Waterborne, monomolecular film forming, manufactured for application to fresh concrete. Absorptive Cover: ASHTO M 182, Class 2, burlap cloth made from jute or kenaf, weighing approximately 9 oz./sq. yd. or less. Moisture-Retaining Cover: ASTM C 171, polyethylene film or white burlap-polyethylene sheet. Water: Potable. Clear, Solvent-Borne, Membrane-Forming Curing and Sealing Compound: ASTM C 1315, Type 1, Class A. Clear, Waterborne, Membrane-Forming Curing and Sealing Compound: ASTM C 1315, Type 1, Class A.
I. CONCRETE MIXES: Comply with ACI 301 requirements for concrete mixtures. Prepare design mixes, proportioned according to ACI 301, for normal-weight concrete determined by either laboratory trial mix or field test data boxes, as follows: Compressive Strength (28 Days): 4000 psi. Slump: 3 inches. Add air-entraining admixture at manufacturer's prescribed rate to result in concrete at point of placement having an air content of 5.0 percent within a tolerance of plus 1.0 or minus 1.5 percent.
J. CONCRETE MIXING: Ready-Mixed Concrete: Comply with ASTM C 94. When air temperature is between 85 and 90 deg F, reduce mixing and delivery time from 1-1/2 hours to 75 minutes; when air temperature is above 90 deg F, reduce mixing and delivery time to 60 minutes.
K. FORMWORK: Design, construct, erect, shore, brace, and maintain formwork according to ACI 301.
L. STEEL REINFORCEMENT: Comply with CRSI's "Manual of Standard Practice" for fabricating, placing, and supporting reinforcement. Do not cut or puncture vapor retarder. Repair damage and reset vapor retarder before placing concrete.
M. JOINTS: Construct joints true to line with faces perpendicular to surface plane of concrete. Construction Joints: Locate and install so as not to impair strength or appearance of concrete, at locations indicated or as approved by Engineer. Isolation Joints: Install joint-filler strips at junctions with slabs-on-grade and vertical surfaces, such as column pedestals, foundation walls, grade beams, and other locations, as indicated. Extend joint fillers full width and depth of joint, terminating flush with finished concrete surface, unless otherwise indicated.
N. CONCRETE PLACEMENT: Comply with recommendations in ACI 304R for measuring, mixing, transporting, and placing concrete. Do not add water to concrete during delivery, at Project site, or during placement. Consolidate concrete with mechanical vibrating equipment.
O. FINISHING FORMED SURFACES: Smooth-Formed Finishes: As-cast concrete texture imparted by form-fabric material, arranged in an orderly and symmetrical manner to receive smooth finished finish. Repair and patch the holes and defective areas. Completely remove fins and other projections. See Drawings for areas of concrete to receive smooth finished finish.
P. FINISHING UNFORMED SURFACES: Comply with ACI 302.1R for screeding, straightening, and finishing operations for concrete surfaces. Do not wet concrete surfaces. Smooth Rubbed Finish: See Drawings for areas of concrete to receive smooth rubbed finish.
Q. TOLERANCES: Comply with ACI 117, "Specifications for Tolerances for Concrete Construction and Materials."
R. CONCRETE PROTECTION AND CURING: Protect freshly placed concrete from premature drying and excessive cold or hot temperatures. Comply with ACI 305.1 for cold-weather protection, and follow recommendations in ACI 305R for hot-weather protection during curing. Evaporation Retarder: Apply evaporation retarder to concrete surfaces if hot, dry, or windy conditions cause moisture loss approaching 0.2 lb/sq. ft. x h before and during finishing operations. Apply finishing concrete, but not before free water has disappeared from concrete surface. Curing Methods: Cure formed and unformed concrete for at least seven continuously moist for not less than seven days with the following materials: Water. Continuous water-fog spray. Absorptive cover, water saturated and kept continuously wet. Cover concrete surfaces and edges with 12-inch lap over adjacent absorptive covers. Moisture-Retaining-Cover Curing: Cover concrete waterproof type or adhesive. Immediately repair any holes or tears during curing period using cover material and waterproof tape. Curing Compound: Apply three hours after initial application. Maintain continuity of coating and repair damage during curing period.
S. FIELD QUALITY CONTROL: Testing Agency: Owner will engage a qualified independent testing and inspecting agency to sample materials, perform tests, and submit test reports during concrete placement. Tests will be performed according to ACI 301. Testing Frequency: Obtain one composite sample for each day's pour of each concrete mix exceeding 9 cu. yd., but less than 25 cu. yd., plus one set for each additional 50 cu. yd. or fraction thereof.
T. REPAIRS: Remove and replace concrete that does not comply with requirements in this Section.

Revisions table with columns for revision number, description, and date. Includes entries for issued for review, DOT comments, sewer extension, and city comments.



MB Engineering, Inc.
768 Glen Mar Drive
Belleville, IL 62221
(314) 368-3040

STL EQUITIES LLC.
1415 Eldridge Payne Rd., Ste. 285
St. Louis, MO 63017
636-534-5900
636-534-5734 (Fax)



MAYER
DESIGN
GROUP
P.C.

ARCHITECTURE
PLANNING
CONSULTING

4400 South Lindbergh Blvd.
Suite 3
St. Louis, Missouri
63127-1603
Telephone: (314) 849-8777
Facsimile: (314) 849-4743



Project Code
SNP-1705

Project Title
Proposed
Retail Store
for
DOLLAR
GENERAL
Prototype "D"
2390 W. State Rt. 161
Belleville, IL 62226

Drawing Title
Specifications

Date Drawn Checked table with columns for date, drawn by, and checked by. Shows date 03/15/17, drawn by MB, and checked by KB.

Drawing Number
C1-01

**JOINT SEALANTS**

- A. PERFORMANCE REQUIREMENTS:** Provide elastomeric joint sealants that establish and maintain watertight and airtight continuous joint seals without staining or deteriorating joint substrates.
- B. SUBMITTALS:** Product Data: For each joint-sealant product indicated. Samples for Initial Selection: Manufacturer's color charts consisting of strips of cured sealants showing the full range of colors available for each product exposed to view. Samples for Verification: For each type and color of joint sealant required, provide Samples with joint sealants in 1/2 inch (13 mm) wide joints formed between two 6-inch (150 mm) long strips of material matching the appearance of exposed surfaces adjacent to joint sealants. Product Certificates: For each type of joint sealant and accessory, signed by product manufacturer. Qualification Data: For Installer, Compatibility and Adhesion Test Reports: From sealant manufacturer, indicating the following: Materials forming joint substrates and joint-sealant backings have been tested for compatibility and adhesion with joint sealants. Interpretation of test results and written recommendations for primers and substrate preparation needed for adhesion. Warranties: Special warranties specified in this Section.
- C. QUALITY ASSURANCE:** Installer Qualifications: Manufacturer's authorized installer who is approved or licensed for installation of elastomeric sealants required for this Project. Source Limitations: Obtain each type of joint sealant through one source from a single manufacturer. Preinstallation Conference: Conduct conference at Project site to comply with requirements in Division 1 Section "Project Management and Coordination."
- D. PROJECT CONDITIONS:** Do not proceed with installation of joint sealants under the following conditions: When ambient and substrate temperature conditions are outside limits permitted by joint-sealant manufacturer. When joint substrates are wet. Where joint widths are less than those allowed by joint-sealant manufacturer for applications indicated. Contaminants capable of interfering with adhesion have not yet been removed from joint substrates.
- E. WARRANTY:** Special Installer's Warranty: Installer's standard form in which Installer agrees to repair or replace elastomeric joint sealants that do not comply with performance and other requirements specified in this Section within specified warranty period. Warranty Period: Two years from date of Substantial Completion. Special warranties specified in this Article exclude deterioration or failure of elastomeric joint sealants from the following: Movement of the structure resulting in stresses on the sealant exceeding manufacturer's written specifications for sealant elongation and compression caused by structural settlement or errors attributable to design or construction. Disintegration of joint substrates from natural causes exceeding design specifications. Mechanical damage caused by individuals, tools, or other outside agents. Changes in sealant appearance caused by accumulation of dirt or other atmospheric contaminants.
- F. MANUFACTURERS:** Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following: Any manufacturer providing products that conform to these specifications and drawings.
- G. MATERIALS, GENERAL:** Compatibility: Provide joint sealants, backings, and other related materials that are compatible with one another and with joint substrates under conditions of service and application, as demonstrated by sealant manufacturer, based on testing and field experience. Colors of Exposed Joint Sealants: As selected by Owner from manufacturer's full range.
- H. ELASTOMERIC JOINT SEALANTS:** Elastomeric Sealants: Comply with ASTM C 920 and other requirements indicated for each liquid-applied chemically curing sealant specified, including those referencing ASTM C 920 classifications for type, grade, class, and uses related to exposure and joint substrates. Multicomponent Nonsag Urethane Sealant: Products: Pecora Corporation; Dynatrol II, Tremco; Dymirc 311, Tremco; Vulkem 922, type and Grade: M (multicomponent) and NS (nonsag), Class: 50. Use Related to Exposure: NT (nontraffic). Multicomponent Nonsag Urethane Sealant: Products: Pacific Polymers, Inc.; Elastothane 227 High Shore Type II (Gun Grade), Pacific Polymers, Inc.; Elastothane 227 Type II (Gun Grade), Pecora Corporation; Dynatrol. Polymer Systems Inc.; PSI-270. Type and Grade: M (multicomponent) and NS (nonsag), Class: 25. Use Related to Exposure: T (traffic). Uses Related to Joint Substrates: M, (C, J), and, as applicable to joint substrates indicated.
- I. JOINT-SEALANT BACKING:** Provide sealant backings of material and type that are nonstaining; are compatible with joint substrates, sealants, primers, and other joint fillers; and are approved for applications indicated by sealant manufacturer based on field experience and laboratory testing. Cylindrical Sealant Backings: ASTM C 1330, Type C (closed-cell material with a surface skin) and of size and density to control sealant depth and otherwise contribute to producing optimum sealant performance.
- J. MISCELLANEOUS MATERIALS:** Primer: Material recommended by joint-sealant manufacturer where required for adhesion of sealant to joint substrates indicated, as determined from preconstruction joint-sealant-substrate tests and field tests.
- K. EXAMINATION:** Examine joints indicated to receive joint sealants, with Installer present, for compliance with requirements for joint configuration, installation tolerances, and other conditions affecting joint-sealant performance. Proceed with installation only after unsatisfactory conditions have been corrected.
- L. PREPARATION:** Surface Cleaning of Joints: Clean out joints immediately before installing joint sealants to comply with joint-sealant manufacturer's written instructions and the following requirements: Remove all foreign material from joint substrates that could interfere with adhesion of joint sealant, including dust, joints (except for permanent, protective coatings tested and approved for sealant adhesion and compatibility by sealant manufacturer), old joint sealants, oil, grease, waterproofing, water repellents, water, surface dirt, and frost. Clean porous joint substrate surfaces by brushing, grinding, blast cleaning, mechanical abrading, or a combination of these methods to produce a clean, sound substrate capable of developing optimum bond with joint sealants. Remove loose particles remaining after cleaning operations above by vacuuming or blowing out joints with oil-free compressed air. Porous joint substrates include the following: Concrete. Masonry. Remove laitance and form-release agents from concrete. Joint Priming: Prime joint substrates, where recommended in writing by joint-sealant manufacturer. Apply primer to comply with joint-sealant manufacturer's written instructions. Confine primers to areas of joint-sealant bond; do not allow spillage or migration onto adjoining surfaces.
- M. INSTALLATION OF JOINT SEALANTS:** Comply with joint-sealant manufacturer's written installation instructions for products and applications indicated, unless more stringent requirements apply. Sealant Installation Standard: Comply with recommendations in ASTM C 1193 for use of joint sealants as applicable to materials, applications, and conditions indicated. Install sealant backings of type indicated to support sealants during application and all position required to produce cross-sectional shapes and depths of installed sealants relative to joint widths that allow optimum sealant movement capability. Do not leave gaps between ends of sealant backings. Do not stretch, twist, puncture, or tear sealant backings. Remove absorbent sealant backings that have become wet before sealant application and replace them with dry materials. Install sealants using proven techniques that comply with the following and at the same time backings are installed: Place sealants so they directly contact and fully wet joint substrates. Completely fill recesses in each joint configuration. Produce uniform, cross-sectional shapes and depths relative to joint widths that allow optimum sealant movement capability. Tooling of Nonsag Sealants: Immediately after sealant application and before skinning or curing begins, tool sealants according to requirements specified below to form smooth, uniform beads of configuration indicated; to eliminate air pockets; and to ensure contact and adhesion of sealant with sides of joint. Remove excess sealant from surfaces adjacent to joints. Use tooling agents that are approved in writing by sealant manufacturer and that do not discolor sealants or adjacent surfaces. provide concave joint configuration per Figure 5A in ASTM C 1193, unless otherwise indicated.
- N. PROTECTION:** Protect joint sealants during and after curing period from contact with contaminating substances and from damage resulting from construction operations or other causes so sealants are without deterioration or damage at time of Substantial Completion. If, despite such protection, damage or deterioration occurs, cut out and remove damaged or deteriorated joint sealants immediately so installations with repaired areas are indistinguishable from original work.
- O. JOINT-SEALANT SCHEDULE:** Joint-Sealant Application: Exterior vertical and horizontal nontraffic construction joints in cast-in-place concrete. Joint Sealant: Multicomponent nonsag urethane sealant. Joint-Sealant Color: As selected by Owner from manufacturer's full range.

**WATER SERVICE**

- A. Specification includes water systems piping for domestic service outside the building.**
- B. Minimum Working Pressure Ratings: Underground Piping: 150 psig (1035 kPa).**
- C. Submit product data, including pressure rating and rated capacity for the following: Piping, Valves, Curb stops.**
- D. Comply with requirements of Local Water Division, including tapping of service lines and backflow prevention.**
- E. Comply with standards of authorities having jurisdiction for potable water piping and plumbing systems. Include materials, installation, testing, and disinfection.**
- F. Perform site survey, research public utility records, and verify existing utility locations. Contact utility-locating service for area where Project is located prior to excavation.**
- G. Verify that water system piping may be installed in compliance with original design and referenced standards.**
- H. Coordinate connection to water service line with the Owner.**
- I. Coordinate with pipe materials, sizes, entry locations, and pressure requirements of building piping system.**
- J. Coordinate with other utility work.**
- K. Curb Stops: Bronze body, ground key plug or ball, and wide tee head, with inlet and outlet to match service piping material.**
- L. Service Boxes for Curb Stops: Cast-iron box with telescoping top section of length required for depth of bury of valve. Include cover having lettering "WATER," and bottom section with base of size to fit over curb stop and barrel approximately 3 inches (75 mm) in diameter. Provide steel tee-handle shutoff rod with each service box. Shutoff rod shall have tee handle with 1 pointed end, stem of length to operate curb stop, and slotted end fitting curb stop head.**
- M. Use pipe, tube, fittings, and joining methods according to following applications: Domestic Water Service: Ductile-iron, Push-on-Joint Pipe, AWWA C151, with cement-mortar lining and seal coat according to AWWA C104. Include rubber compression gasket according to AWWA C111.**
- N. Ductile-iron Piping: Push-on Joints, AWWA C111 rubber gaskets and lubricant.**
- O. Plastic Pipe-Flange Gasket, Bolts, and Nuts: Type and material recommended by piping system manufacturer, unless otherwise indicated.**
- P. Nonraising-Stem, Resilient-Sealed Gate Valves, 3-inch NPS (DN80) and Larger: AWWA C509, gray- or ductile-iron body and bonnet; with bronze or gray- or ductile-iron gate, resilient seats, bronze stem, and stem nut. Include 200-psig (1380-kPa) minimum working-pressure design, interior coating according to AWWA C550, and push-on or mechanical-joint ends.**
- Q. Install components having pressure rating equal to or greater than system operating pressure.**
- R. Install fittings for changes in direction and branch connections.**
- S. Install continuous plastic underground warning tape during back-filling of trench for underground water service piping. Locate 6 inches (150 mm) to 8 inches (200 mm) below finished grade, directly over piping.**
- T. Hydrostatic Tests: Test at not less than 1-1/2 times working pressure for 2 hours. Increase pressure in 50-psig (350-kPa) increments and inspect each joint between increments. Hold at test pressure for 1 hour; decrease to 0 psig (0 kPa). Slowly increase again to test pressure and hold for 1 more hour. Maximum allowable leakage is 2 quarts (1.89 L) per hour per 100 joints. Remake leaking joints with new materials and repeat test until leakage is within above limits.**
- U. Clean and disinfect water distribution piping as follows:**
- V. Purge new water distribution piping systems and parts of existing systems that have been altered, extended, or repaired prior to use.**
- W. Use purging and disinfecting procedure prescribed by authority having jurisdiction or, if method is not prescribed by that authority, use procedure described in AWWA C651**
- X. Prepare reports for purging and disinfecting activities.**

**HOT-MIX ASPHALT PAVING**

- A. Provide hot-mix asphalt pavement according to the materials, workmanship, and other applicable requirements of the standard specifications of the state or of authorities having jurisdiction.**
- 1. Standard Specification:** the Illinois Department of Transportation Specifications.
- 2. Measurement and payment provisions and safety program submittals included in standard specifications do not apply to this Section.**
- B. Job-Mix Designs: Provide certification, by authorities having jurisdiction, of approval of each job mix proposed for the Work.**
- C. Material Certificates: Provide certificates signed by manufacturers certifying that each material complies with requirements.**
- D. Installer Qualifications: Engage an experienced installer who has completed hot-mix asphalt paving similar in material, design, and extent to that indicated for this Project and with a record of successful in-service performance.**
- E. Manufacturer Qualifications: Engage a firm experienced in manufacturing hot-mix asphalt similar to that indicated for this Project and with a record of**
- 1. Firm shall be a registered and approved paving mix manufacturer with IDOT.**
- F. Mineral aggregate for rolled stone base and asphalt plant mix: surface shall consist of coarse aggregate, fine aggregate, and mineral filler.**
- 1. Coarse aggregate: sound, angular crushed stone, crushed gravel, or crushed slag.**
- 2. Fine aggregate: well graded, sharp edged, natural sand.**
- 3. Mineral filler: limestone dust, portland cement, or other inert material - ASTM D242.**
- G. Asphalt cement: ASTM D946, 85-100 penetration grade.**
- H. Asphalt emulsion: SS-A or SS-K.**
- I. Prime coat: ASTM D2028, Grade MC30, or MC70.**
- J. Tack-coat: emulsified asphalt SS-1 diluted, 1-part asphalt to 1-part water.**
- K. Water: free from foreign matter, salt and potable.**
- L. Pavement striping: McConnell and Associates, Inc., MACSTRIPER (TTP-1952 B), latex-water base, non-bleeding marking paint, color to be white.**
- M. Rolled stone base course: course aggregate, graded 3/4" to 1".**
- N. Asphaltic surface courses and curbs: mineral aggregate and asphalt combined in a mixing plant to meet the following gradations:**
- |                                                           | Min., % | Max., % |
|-----------------------------------------------------------|---------|---------|
| Passing 1/2" sieve . . . . .                              | -       | 100     |
| Passing 1/2" sieve, retained on 3/8" sieve . . . . .      | 0       | 25      |
| Passing 3/8" sieve, retained on No. 4 sieve . . . . .     | 20      | 45      |
| Passing No. 4 sieve, retained on No. 10 sieve . . . . .   | 7       | 30      |
| Passing No. 10 sieve, retained on No. 40 sieve . . . . .  | 7       | 25      |
| Passing No. 40 sieve, retained on No. 200 sieve . . . . . | 3       | 20      |
| Passing No. 200 sieve . . . . .                           | 2       | 8       |
| Asphalt Cement . . . . .                                  | 4       | 7       |
- O. Verify that subgrade is dry and in suitable condition to support paving and imposed loads.**
- P. Proof-roll subbase using heavy, pneumatic-tired rollers to locate areas that are unstable or that require further compaction.**
- Q. Notify Engineer in writing of any unsatisfactory conditions. Do not begin paving installation until these conditions have been satisfactorily corrected.**
- R. Immediately before placing asphalt materials, remove loose and deleterious material from substrate surfaces. Ensure that prepared subgrade is ready to receive paving.**
- 1. Sweep loose granular particles from surface of unbound-aggregate base course. Do not dislodge or disturb aggregate embedded in compacted surface of base course.**
- S. Prime Coat: Apply uniformly over surface of compacted-aggregate base at a rate of 0.15 to 0.50 gal./sq. yd. Apply enough material to penetrate and seal, but not flood, surface. Allow prime coat to cure for 72 hours minimum.**
- 1. If prime coat is not entirely absorbed within 24 hours after application, spread sand over surface to blot excess asphalt. Use just enough sand to prevent pickup under traffic. Remove loose sand by sweeping before pavement is placed and after volatiles have evaporated.**
- 2. Protect primed substrate from damage until ready to receive paving.**
- T. Complete compaction before mix temperature cools to 185 deg F.**
- U. Thickness: Compact each course to produce the thickness indicated within the following tolerances:**
- 1. Base Course: Plus or minus 1/2 inch.**
- 2. Surface Course: Plus 1/4 inch, no minus.**
- V. Surface Smoothness: Compact each course to produce a surface smoothness within the following tolerances as determined by using a 10-foot straightedge applied transversely or longitudinally to paved areas:**
- 1. Base Course: 1/4 inch.**
- 2. Surface Course: 1/8 inch.**
- 3. Crowned Surfaces: Test with crowned template centered and at right angle to crown. Maximum allowable variance from template is 1/4 inch.**
- W. Testing Agency: Owner will engage a qualified independent testing agency to perform field inspections and tests and to prepare test reports.**
- 1. Testing agency will conduct and interpret tests and state in each report whether tested Work complies with or deviates from specified requirements.**

Revisions	
0	ISSUED FOR REVIEW 03-11-17
1	IDOT COMMENTS 03-13-17
2	IDOT COMMENTS 04-07-17
3	SEWER EXTENSION 06-07-17
4	CITY COMMENTS 06-22-17



MB Engineering, Inc.  
768 Glen Mor Drive  
Belleville, IL 62221  
(314) 368-3040

STL EQUITIES LLC.  
1415 Elbridge Payne Rd., Ste. 285  
St. Louis, MO 63017  
636-534-5900  
636-534-5734 (Fax)



MAYER  
DESIGN  
GROUP

P.C.

ARCHITECTURE  
PLANNING  
CONSULTING

4400 South Lindbergh Blvd.  
Suite 3  
St. Louis, Missouri  
63127-1603  
Telephone: (314) 849-8777  
Facsimile: (314) 849-4743



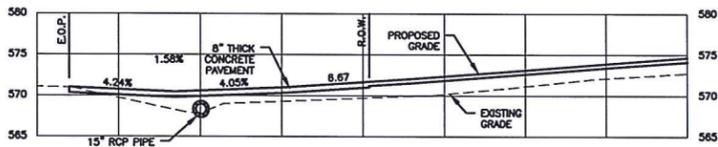
Project Code  
**SNP-1705**

Project Title  
**Proposed Retail Store for**  
**DOLLAR GENERAL**  
Prototype "D"  
2390 W. State Rte 161  
Belleville, IL  
62226

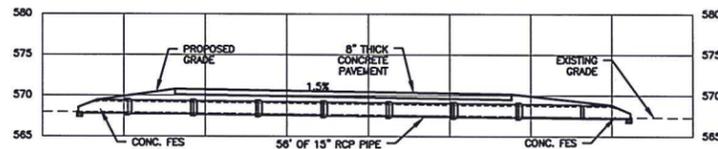
Drawing Title  
**Specifications**

Date Drawn Checked  
03/15/17 MB KB

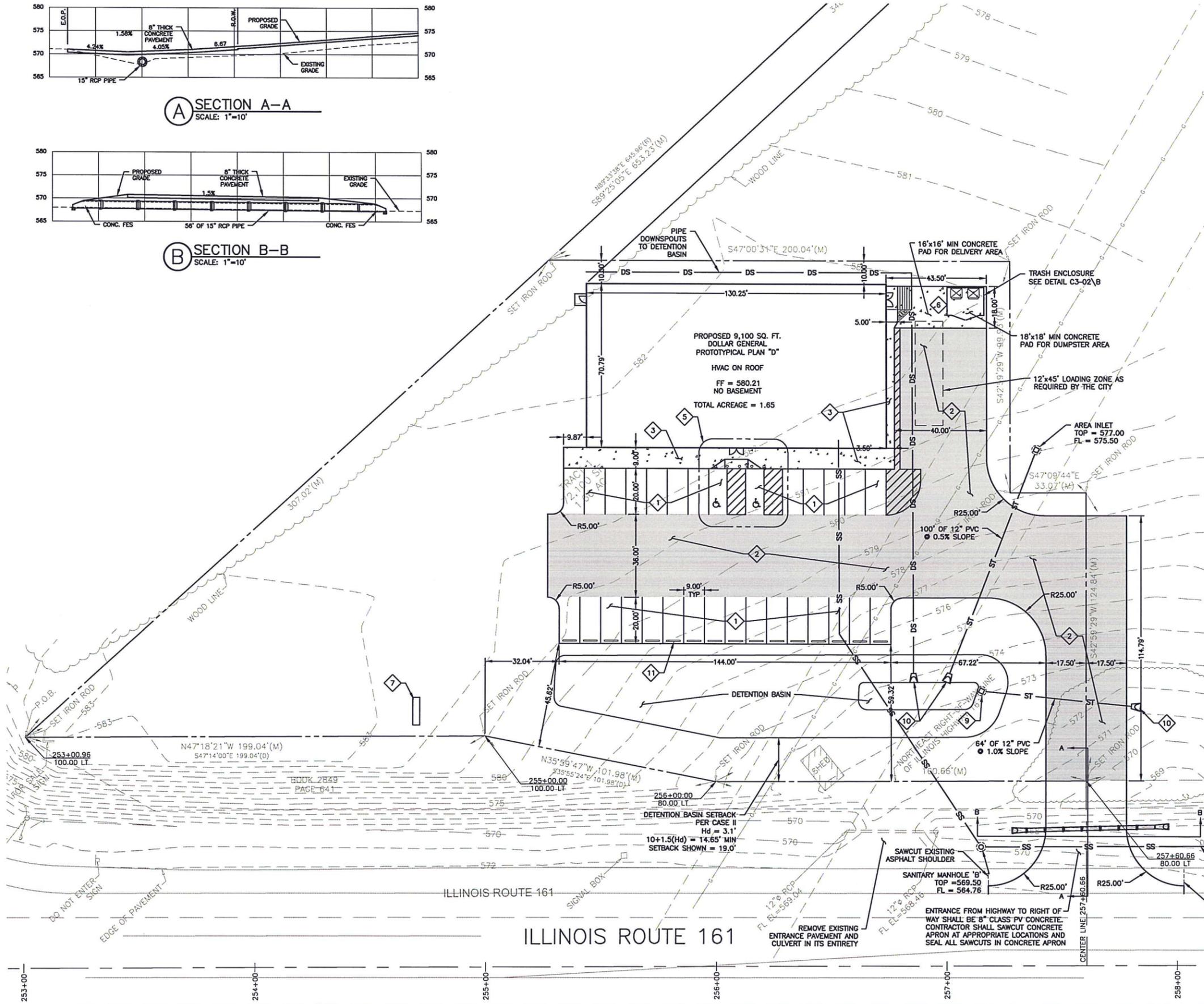
Drawing Number  
**C1-02**



**A** SECTION A-A  
SCALE: 1"=10'

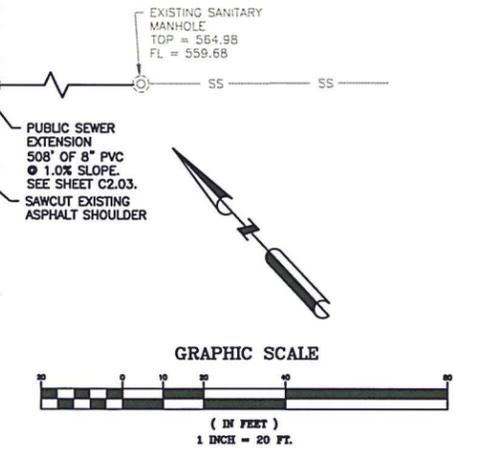


**B** SECTION B-B  
SCALE: 1"=10'



- NOTES:**
- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION BEFORE EXCAVATION OR TRENCHING TO AVOID DAMAGE THERETO.
  - ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF ACCORDING TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
  - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS NOT TO DAMAGE ANY EXISTING SITE FEATURES TO REMAIN. IF ANY DAMAGE OCCURS, THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY. THE CONTRACTOR SHALL REPAIR ALL DAMAGED ITEMS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
  - SANITARY SEWER SERVICE: NEW SANITARY SEWER LATERAL SHALL BE A 6" PVC @ 2% MINIMUM SLOPE. LATERAL SHALL TIE INTO PUBLIC SEWER EXTENSION.
  - THE CONTRACTOR SHALL COORDINATE WITH THE GOVERNING WATER COMPANY THE SIZE OF EXCAVATION NECESSARY FOR INSTALLATION OF THE WATER SERVICE LINE, VALVE AND TAP. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, BACKFILL, AND SUPPLY AND INSTALLATION OF THE VALVE BOXES AND APPROPRIATE FRAME AND COVERS FOR THE SERVICE LINE VALVE. PUBLIC WATER IS BEING INSTALLED BY THE CITY. CONTRACTOR SHALL COORDINATE WITH GOVERNING WATER COMPANY AND THE CITY TO LOCATE PUBLIC WATER LINE.
  - THE CONTRACTOR SHALL COORDINATE WITH THE GOVERNING GAS COMPANY THE SIZE OF EXCAVATION NECESSARY FOR INSTALLATION OF THE GAS SERVICE LINE, VALVE
  - ALL UTILITY CONNECTION TO THE BUILDING ARE APPROXIMATE.

- 1 LIGHT DUTY ASPHALT PAVEMENT. SEE DETAIL C3-01/A
- 2 HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL C3-01/B
- 3 MONOLITHIC CURB AND SIDEWALK. SEE DETAIL C3-01/C
- 4 1" DOMESTIC WATER SERVICE. SEE NOTE 5
- 5 HANDICAP PARKING AND RAMP. SEE DETAIL C3-01/E
- 6 CONCRETE DUMPSTER PAD. SEE DETAIL C3-01/I
- 7 LIGHTED PYLON SIGN (BY OTHERS).
- 8 SANITARY SEWER LATERAL. SEE NOTE 4.
- 9 DETENTION BASIN OUTLET STRUCTURE. SEE DETAIL C3-02/A
- 10 PVC END SECTION. SEE DETAIL C3-01/K
- 11 WHEEL STOPS. SEE DETAIL C3-01/L
- 12 CONCRETE END SECTIONS. SEE DETAIL C3-01/G



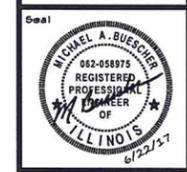
Revisions	
0	ISSUED FOR REVIEW 03-11-17
1	RDOT COMMENTS 03-13-17
2	RDOT COMMENTS 04-07-17
3	SEWER EXTENSION 06-01-17
4	CITY COMMENTS 06-22-17

**MB Engineering, Inc.**  
788 Glen Mor Drive  
Belleville, IL 62221  
(314) 368-3040

**STL EQUITIES LLC.**  
1415 Elbridge Payne Rd., Ste. 285  
St. Louis, MO 63017  
636-534-5900  
636-534-5734 (Fax)

**MAYER DESIGN GROUP P.C.**  
ARCHITECTURE  
PLANNING  
CONSULTING

4400 South Lindbergh Blvd.  
Suite 3  
St. Louis, Missouri  
63127-1603  
Telephone: (314) 849-8777  
Facsimile: (314) 849-4743



Project Code  
**SNP-1705**

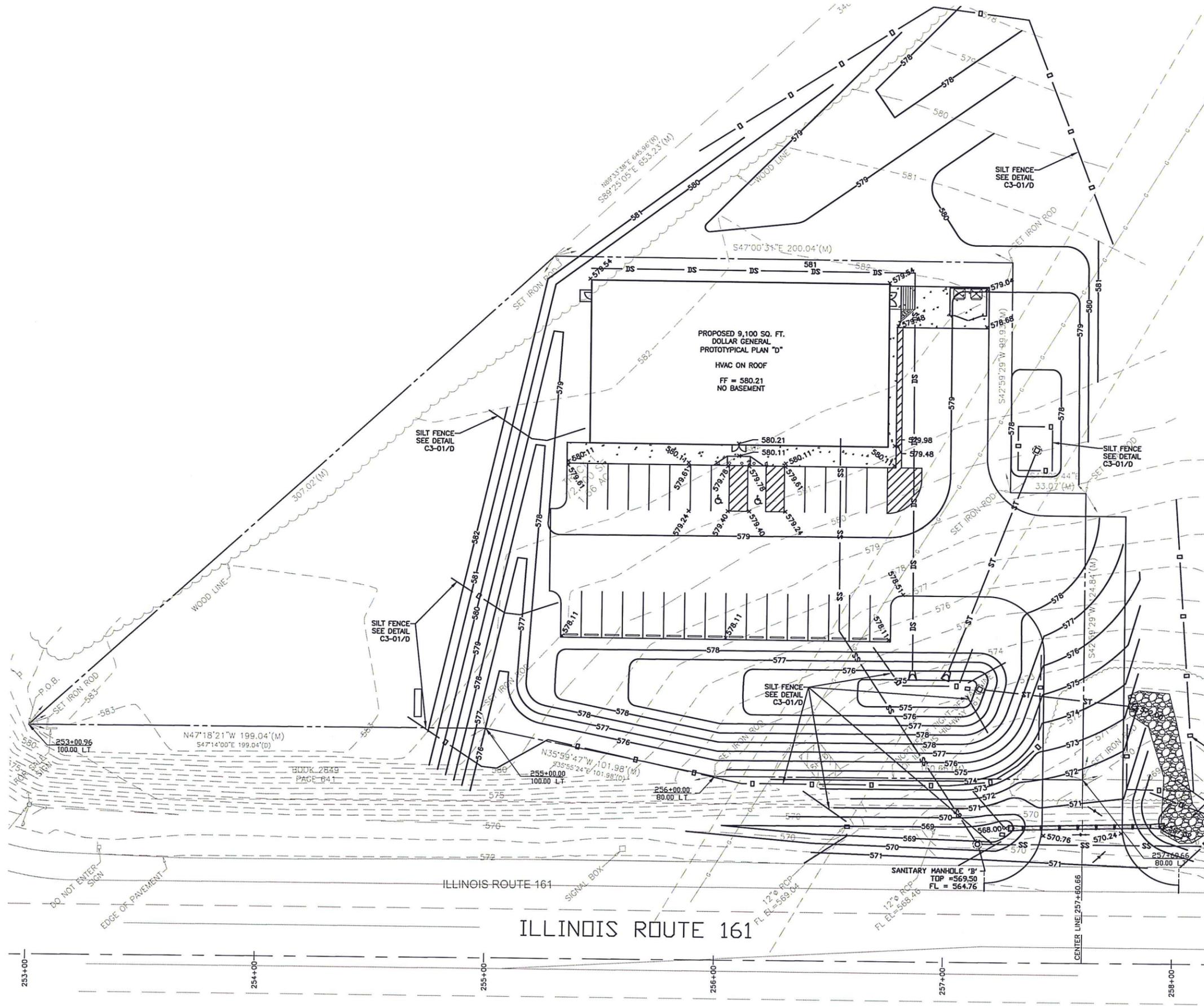
Project Title  
**Proposed Retail Store for DOLLAR GENERAL**

2390 W. State Rt. 161  
Belleville, IL 62226

Drawing Title  
**Site and Utility Plan**

Date Drawn Checked  
03/15/17 MB KB

Drawing Number  
**C2-01**



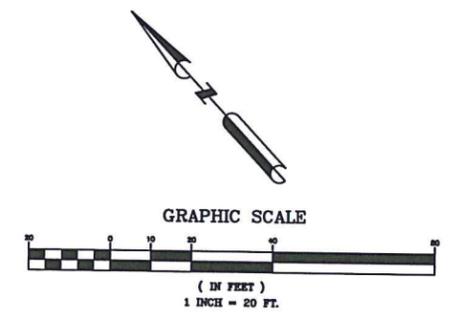
- NOTES:**
- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION BEFORE EXCAVATION OR TRENCHING TO AVOID DAMAGE THERETO.
  - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS NOT TO DAMAGE ANY EXISTING SITE FEATURES TO REMAIN. IF ANY DAMAGE OCCURS, THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY. THE CONTRACTOR SHALL REPAIR ALL DAMAGED ITEMS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
  - THE CONTRACTOR WILL PROVIDE SEDIMENTATION AND EROSION CONTROL DEVICES SUCH AS STRAW BALE, SILT FENCES, ETC. AT ALL DOWNSLOPE LOCATIONS AND AROUND ALL STORM WATER INLETS. CONTRACTOR SHALL INSPECT SUCH CONTROLS AFTER EACH RAINFALL EVENT AND REPLACED AS REQUIRED.
  - SILTATION CONTROL DEVICES TO REMAIN IN PLACE UNTIL ADEQUATE VEGETATIVE GROWTH INSURES NO FURTHER EROSION OF THE SOIL.
  - ALL ELEVATION ARE BASED ON U.S.G.S. DATUM
  - PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.

- GRADING NOTES:**
- TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
  - TILL SOIL TO A DEPTH OF 4" MINIMUM.
  - REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
  - GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
  - ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

- LAWN SEEDING & SODDING NOTES**
- ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
  - AREAS TO RECEIVE SEED OR SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
  - SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 1/4 TO 1/3 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AIDE IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION
  - STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
  - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE, FREE OF ERODED OR BARE AREAS.

+ 679.00 PROPOSED SPOT ELEVATION  
 — 578 — PROPOSED CONTOUR  
 - 579 - EXISTING CONTOUR

SILT FENCE SEE DETAIL C3-01/D  
 RIP RAP SHALL BE 50lb RIP RAP (TOP SIZE SHALL BE 6"). THE RIP RAP BED SHALL BE 8" DEPTH AND UNDERCUT TO ALLOW THE RIP RAP TO REMAIN FLUSH WITH THE ADJACENT GROUND



Revisions		
0	ISSUED FOR REVIEW	03-11-17
1	DOT COMMENTS	03-15-17
2	DOT COMMENTS	04-07-17
3	SEWER EXTENSION	06-01-17
4	CITY COMMENTS	06-23-17

**MB Engineering, Inc.**  
 768 Glen Mor Drive  
 Belleville, IL 62221  
 (314) 368-3040

**STL EQUITIES LLC.**  
 1415 Elbridge Payne Rd., Ste. 285  
 St. Louis, MO 63017  
 636-534-5900  
 636-534-5734 (Fax)

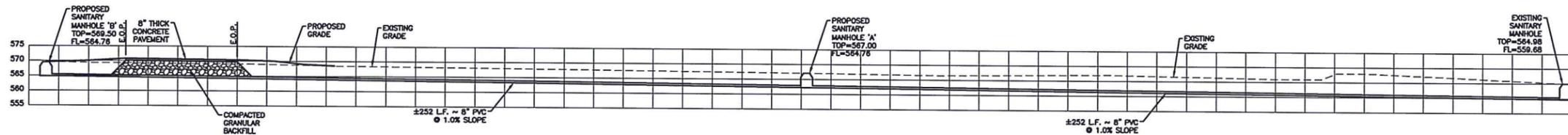
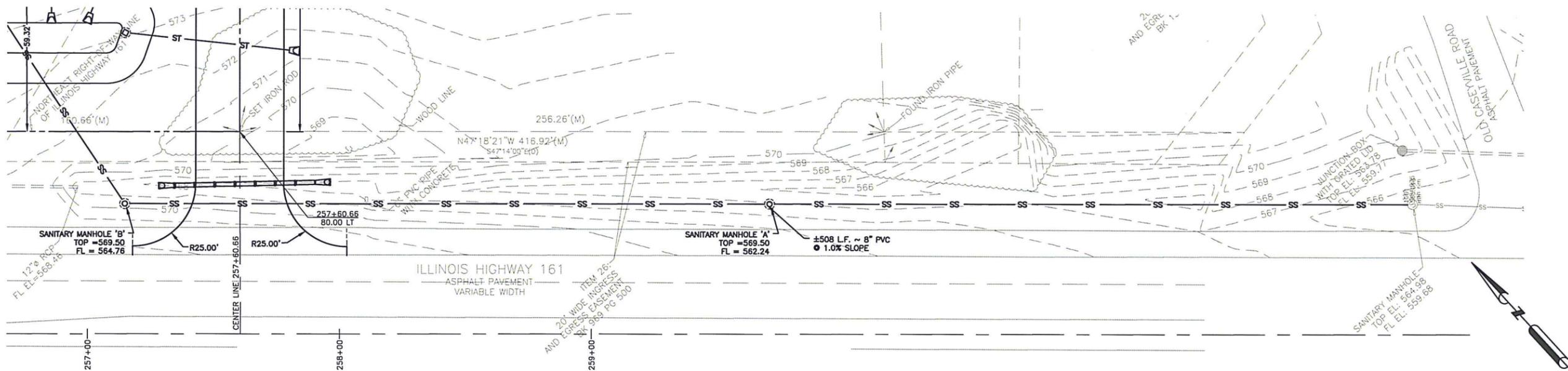
**MAYER DESIGN GROUP P.C.**  
 ARCHITECTURE  
 PLANNING  
 CONSULTING  
 4400 South Lindbergh Blvd.  
 Suite 3  
 St. Louis, Missouri  
 63127-1603  
 Telephone: (314) 849-8777  
 Facsimile: (314) 849-4743



Project Code  
**SNP-1705**

Project Title  
**Proposed Retail Store**  
 for  
**DOLLAR GENERAL**  
 Prototype "D"  
 2390 W. State Rt. 161  
 Belleville, IL 62226

Drawing Title  
**Grading Plan**  
 Date Drawn Checked  
 03/15/17 MB KB  
 Drawing Number  
**C2-02**



**A SANITARY SEWER PROFILE**  
SCALE: 1"=20'

**A. GENERAL REQUIREMENTS**

- SEWER LINE INSTALLATION SHALL NOT COMMENCE UNTIL A COMPLETE SET OF PLANS HAVE BEEN APPROVED BY THE CITY OF BELLEVILLE AND ARE ON FILE IN THE OFFICE OF THE WASTEWATER SUPERINTENDENT. PRIOR TO COMMENCEMENT OF ANY THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PLANS WITH THE ACTUAL DIMENSIONS AND CONDITIONS OF THE SITE. THE GENERAL CONTRACTOR MUST VERIFY THE ENGINEER'S LINES AND GRADES. IF A DISCREPANCY OCCURS FROM WHAT IS SHOWN ON THE PLANS, STANDARD SPECIFICATIONS, AND/OR DETAILS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER AND SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE AFFECTED WORK. FAILING TO DO SO WILL BE CONSIDERED AS THE GENERAL CONTRACTOR HAVING PROCEEDED AT HIS OWN RISK AND EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER AND THE WASTEWATER DIVISION AT LEAST 48 HOURS PRIOR TO INSTALLING SANITARY SEWERS AND BEFORE PERFORMING ANY SANITARY SEWER TESTING. ALL TESTS SHALL BE WITNESSED BY THE ENGINEER.
- THE CONTRACTOR WILL BE REQUIRED TO JET AND CLEAN ALL STORM AND SANITARY SEWERS THAT COLLECT MUD, DEBRIS, CONCRETE, BUILDING SUPPLIES, ETC. WHILE THE WORK IS UNDER THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CAPPED SERVICE LATERALS THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MANHOLE ELEVATIONS THROUGHOUT CONSTRUCTION. NO MANHOLE COVERS CAN BE COVERED. SANITARY SEWER MANHOLE RIM ELEVATIONS SHOWN ON THE PLANS ARE APPROXIMATE. FINAL RIM ELEVATIONS SHALL BE SET TO MATCH THE SURROUNDING FINISH GRADES. ALL COSTS ASSOCIATED WITH THE FINAL RIM ADJUSTMENTS SHALL BE INCIDENTAL TO THE COST OF THE AFFECTED MANHOLE. THE OFFSETS TO ALL MANHOLES ARE GIVEN TO THE CENTER OF THE OPENING AT THE BASE OF THE FRAME AND GRATE OR LID. CONCENTRIC STRUCTURES WERE ASSUMED WHEN CALCULATING THESE DIMENSIONS. LOCATION SIGNS FOR MANHOLES TO BE PROVIDED BY CONTRACTOR.
- ALL MATERIALS, INSTALLATION, AND TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, FIFTH EDITION, THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, THE ILLINOIS DEPARTMENT OF PUBLIC HEALTH, THE ILLINOIS PLUMBING CODE, AND THE CITY OF BELLEVILLE MUNICIPAL CODE. THE CITY OF BELLEVILLE ACCEPTS NO RESPONSIBILITY FOR THE PROJECT DESIGN AND OR CONSTRUCTION OF THIS PROJECT NOR ANY OTHER DESIGN CONSIDERATION OR STANDARD UTILIZED IN THIS PROJECT. THE PERMITEE AND THE DESIGN ENGINEER ARE RESPONSIBLE FOR MEETING OR EXCEEDING ALL PERTINENT FEDERAL, STATE OR LOCAL CODES OR STANDARDS BOTH ON AND OFF THE SITE.
- ALL TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE CITY OF BELLEVILLE ACCEPTS THE PROJECT IMPROVEMENTS. ALL WARNING SIGNS, TRAFFIC CONTROL SIGNS, AND REGULATORY SIGNS SHALL CONFORM TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CONTRACTOR TO LEAVE SITE IN A CONDITION EQUAL TO PRE-CONSTRUCTION CONDITIONS. THE CONTRACTOR SHALL NOT DISTURB PROPERTY OUTSIDE OF THIS AREA.
- ALL WORK AND CONSTRUCTION ACTIVITIES SHALL BE CONFINED TO THE RIGHT-OF-WAY AND EASEMENT, IF APPLICABLE. THE CONTRACTOR SHALL NOT DISTURB PROPERTY OUTSIDE OF THIS AREA. SHOULD PROPERTY OUTSIDE THE RIGHT-OF-WAY BE DISTURBED OR DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE PROPERTY TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE PROPERTY OWNER, WITH NO ADDITIONAL COMPENSATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ALL UNDERGROUND FACILITIES, UTILITIES AND DRAIN TILE DAMAGED DURING CONSTRUCTION.
- CONTRACTOR SHALL SUPPLY SUBMITTALS FOR THE ENGINEER'S AND CITY'S APPROVAL. THREE COPIES WILL BE RETAINED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS WHICH SHALL BE SUBMITTED TO THE CITY ENGINEER'S OFFICE AND WASTEWATER DIVISION DEPARTMENT. SEWER CONNECTIONS SHALL BE RECORDED BY MEASURING THE NUMBER OF FEET FROM THE DOWNSTREAM MANHOLE, AND SHALL INDICATE THE LENGTH OF OFFSET FROM THE SANITARY SEWER MAIN AND DEPTH OF LATERAL AT ITS TERMINUS POINT. ALL LATERALS SHALL BE FURNISHED WITH AN AIR TIGHT CAP TO FACILITATE AIR TESTING. THE PVC LATERAL SHALL BE EXTENDED FOUR (4) FEET ABOVE THE FINISHED GRADE GROUND SURFACE TO ALLOW RELOCATION OF THE LATERAL IN THE FUTURE. ALL STRUCTURES SHALL HAVE RECORD ELEVATIONS.
- SANITARY SEWER INVERTS SHOWN ON THE PLANS HAVE BEEN CALCULATED TO THE CENTER OF THE STRUCTURE. THE SANITARY SEWER SLOPES SHOWN ON THE PLANS IS THE PERCENT GRADE FROM CENTER TO CENTER OF STRUCTURE. THE LENGTH OF SANITARY SEWERS SHOWN ON THE PLANS IS THE DISTANCE FROM CENTER TO CENTER OF STRUCTURE.

**B. SPECIFICATIONS**

- ALL SANITARY SEWERS SHALL BE OF THE MATERIAL SPECIFIED ON THE PLANS. ALL PVC SANITARY SEWER PIPES SHALL BE PVC SDR-26 MEETING THE REQUIREMENTS OF ASTM D3034 WITH ELASTOMERIC JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND F477. ALL DUCTILE IRON SANITARY SEWER PIPES SHALL BE DUCTILE IRON MEETING THE REQUIREMENTS OF AWWA C600-93 WITH MECHANICAL JOINTS MEETING THE REQUIREMENTS OF AWWA C111 AND C600. LUBRICANT SHALL BE SUITABLE FOR LUBRICATING THE JOINT COMPONENTS. IT SHALL HAVE NO DETERIORATING EFFECT ON THE GASKET OR PIPE MATERIAL AND NO DETRIMENTAL EFFECT ON THE QUALITY OF WASTEWATER TO BE CARRIED BY THE PIPE.
- BEDDING OF THE PIPE AND BACKFILL SHALL BE DONE IN ACCORDANCE WITH ASTM D2321-B9 CLASS A (FOR FLEXIBLE PIPE) OR ASTM C12 CLASS B (FOR RIGID PIPE). THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND AS SHOWN IN THE PLANS. GRANULAR TRENCH BACKFILL SHALL BE USED AS INDICATED ON THE PLANS AND WHEN THE EDGE OF ANY TRENCH IS WITHIN 2 FT OF ANY PAVEMENT, CURB, SIDEWALK, OR OTHER STRUCTURE. TRENCH BACKFILL SHALL BE COMPACTED WITH A ROLLER, VIBRATORY OR OTHER COMPACTING DEVICE IN 12-INCH LIFTS.
- ALL SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE TYPE A. A MINIMUM 48-INCH IN DIAMETER WITH GASKETED INVERTS, ECCENTRIC CONES, AND STEPS IN ACCORDANCE WITH STANDARD DRAWING NO. 3 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS. CONSTRUCTED OF PRECAST CONCRETE AND CONFORM TO ASTM CASTINGS ASTM 448-83 CLASS 35B, OR ASTM A536-80 GRADE 65-45-12 FOR DUCTILE-IRON. CONES AND SECTIONS SHALL BE SUBSTANTIALLY FREE FROM FRACTURES, LARGE OR DEEP CRACKS AND SURFACE ROUGHNESS. JOINTS SHALL BE SEALED WITH A PRE-MOLDED JOINT SEALER AND WRAPPED ON THE OUTSIDE WITH A 9" CONCRETE JOINT WRAP. SANITARY SEWER MANHOLE LIDS SHALL HAVE THE WORD "SANITARY" CAST IN THE FACE AND BE FURNISHED WITH A CONCEALED "PICK HOLE." SANITARY SEWER MANHOLE FRAME AND GRATES SHALL BE NEEAH R-1772.
- MANHOLES SHALL BE CONSTRUCTED WITH A SILICAFUME ADMIXTURE SPECIFICALLY TO PREVENT HYDROGEN SULFIDE CORROSION OF THE PRE-CAST CONCRETE. SUBMITTALS DETAILING THE TYPE OF SILICAFUME ADMIXTURE AND ITS SUITABILITY FOR THIS APPLICATION SHALL BE SUBMITTED TO THE ENGINEER AND WASTEWATER SUPERINTENDENT FOR APPROVAL.
- SEWER PIPE CONNECTIONS SHALL BE FLEXIBLE WATER TIGHT CONNECTIONS CONFORMING WITH ASTM C-923 STANDARD SPECIFICATIONS FOR RESILIENT CONNECTORS BETWEEN REINFORCED CONCRETE MANHOLE STRUCTURES AND PIPE. THE PRE-CAST BASE SECTION SHALL BE MONOLITHICALLY CONSTRUCTED WITH A PRE-CAST INVERT TO ALIGN ALL SEWER PIPES TO THE ELEVATIONS AS SHOWN ON THE PLANS.
- IF A GASKETED CONNECTION DOES NOT EXIST, ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY MEANS OF A MECHANICAL CUTTING DEVICE. THE DEVICE SHALL LEAVE A ROUND SMOOTH HOLE, NO LARGER THAN 1/2" GREATER THAN THE OUTSIDE DIAMETER OF THE SANITARY SEWER PIPE TO BE INSERTED. THE CUTTING DEVICE SHALL ALSO BE CAPABLE OF FORMING/CUTTING THE NECESSARY CHANNEL WITHIN THE INTERIOR OF THE MANHOLE. NO PNEUMATIC JACK HAMMERS, HAND HELD SAWS, OR SLEDGE HAMMERS SHALL BE ALLOWED. THE OPENING SHALL BE SEALED WITH A LINK SEAL OR OTHER APPROVED MECHANICAL DEVICE.
- WHEN CONNECTIONS ARE TO BE MADE TO EXISTING STRUCTURES, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATIONS OF THE STRUCTURE PRIOR TO MAKING THE CONNECTION. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF THE EXISTING STRUCTURES ARE FOUND TO BE DIFFERENT FROM SANITARY SEWER TYPE AND SIZE SPECIFIED.
- PROTECTION OF THE WATER MAIN FROM SANITARY SEWER MAINS IS REQUIRED AND SHALL BE MADE IN ACCORDANCE WITH LATEST EDITION OF TITLE 25: ENVIRONMENTAL PROTECTION, SUBTITLE F: PUBLIC WATER SUPPLIES, CHAPTER 11: ENVIRONMENTAL PROTECTION AGENCY, SECTION 653.119: PROTECTION OF WATER MAIN AND WATER SERVICE LINES. THE WATER AND SEWER MAIN AS DELINEATED ON THE DRAWINGS SHALL BE CONSTRUCTED WITH A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION IN ACCORDANCE WITH ARTICLE 41-2.01B AND 41-2.01C OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.
- NO WATER PIPE SHALL PASS THROUGH OR INTO CONTACT WITH ANY PART OF A SEWER MANHOLE.
- PVC PIPE SHALL BE STORED UNDER COVER TO PROTECT FROM ULTRAVIOLET LIGHT.
- CASING SPACERS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE), NON-METALLIC AND MOLDED IN SEGMENTS FOR FIELD ASSEMBLY. THE CASING SPACER SHALL HAVE INTEGRALLY MOLDED RUNNERS EXTENDING BEYOND THE BELL. MECHANICAL JOINT, OR RESTRAINER OF THE CARRIER PIPE. INDIVIDUAL SEGMENTS SHALL HAVE A SOLID CORE AND EACH RUNNER SHALL BE WITHIN 1.5" OF THE CASING PIPE TO CENTER THE CARRIER PIPE WITHIN THE CASING. CASING SPACERS SHALL BE SPACED WITHIN TWO FEET OF BOTH ENDS OF EACH INDIVIDUAL CASING PIPE SECTION WITH ALL REMAINING SPACERS ASSEMBLED ALONG THE LENGTH OF THE PIPE SECTION AT AN EQUAL DISTANCE APART NOT EXCEEDING EIGHT FEET IN LENGTH. ALL SPACERS SHALL BE SUPPLIED WITH A MOLDED THERMOPLASTIC RUBBER NON-SLIP BUTTON COMPRISED OF PLIABLE MATERIAL HAVING A HIGH COEFFICIENT OF FRICTION THAT IS DESIGNED TO GRIP ALL TYPES OF PIPE.
- CASING SPACER END SEALS SHALL BE A PULL-OVER TYPE AND MADE FROM NEOPRENE WITH T-304 STAINLESS STEEL BANDS FOR SECURING THE ENDS OF THE END SEAL TO THE CASING PIPE AND CARRIER PIPE.

**C. TESTING**

- A VISUAL INSPECTION, INCLUDING LAMPING, SHALL BE MADE OF ALL GRAVITY FLOW LINES; AND ALL OBSTRUCTIONS SHALL BE REMOVED. ANY SEWER SHOWING LESS THAN ONE-HALF THE CROSS SECTIONAL AREA OF THE PIPE BETWEEN ADJACENT MANHOLES OR OTHER UNDOE DEVIATION FROM LINE AND GRADE SHALL BE CONSIDERED AS UNSATISFACTORY AND SHALL BE REPAIRED BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION.
- TESTING OF SANITARY SEWERS FOR ACCEPTABILITY SHALL BE CONDUCTED BY THE INFILTRATION BY AIR TESTING TECHNIQUE. THE CONTRACTOR SHALL BE REQUIRED TO TEST ALL GRAVITY SEWER MAINS. ALL TESTING SHALL BE IN CONFORMANCE WITH ARTICLE 31-1.11 METHOD A. INFILTRATION OF AIR UNDER PRESSURE. OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS. THE CITY REQUIRES THAT PRESSURE "HOLD" IN THE PIPE FOR DOUBLE THE TIME LIMIT LISTED IN THE STANDARD SPECIFICATIONS.
- THE GRAVITY SEWER LINES (EXCLUDING SERVICE LATERALS) SHALL BE TESTED FOR EXCESS DEFLECTION BY PULLING A MANDREL THROUGH THE PIPE FROM MANHOLE TO MANHOLE. TEST SHALL BE IN ACCORDANCE WITH ARTICLE 31-1.11 METHOD D. DEFLECTION FOR FLEXIBLE THERMOPLASTIC PIPE. OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.
- THE OUTSIDE DIAMETER OF THE TEST MANDREL SHALL BE EQUAL TO NINETY-FIVE PERCENT (95%) OF THE ORIGINAL INSIDE DIAMETER OF THE PIPE BEING USED. THE INDIVIDUAL LINES TO BE TESTED SHALL BE SO TESTED NO SOONER THAN 30 DAYS AFTER THEY HAVE BEEN INSTALLED, WHEREVER POSSIBLE AND PRACTICAL THE TESTING SHALL INITIATE AT THE DOWNSTREAM LINES AND PROCEED TOWARDS THE UPSTREAM LINES.
- WHERE DEFLECTION IS FOUND TO BE IN EXCESS OF 5% OF THE ORIGINAL PIPE DIAMETER, THE CONTRACTOR SHALL EXCAVATE TO THE POINT OF EXCESS DEFLECTION AND CAREFULLY COMPACT AROUND THE POINT WHERE EXCESS DEFLECTION WAS FOUND. THE LINE SHALL BE RETESTED FOR DEFLECTION. HOWEVER, SHOULD THE DEFLECTED PIPE FAIL TO RETURN TO THE ORIGINAL SIZE (INSIDE DIAMETER) AFTER THE CORRECTIVE MEASURES, THE LINE SHALL BE REPLACED. THE ENTIRE SYSTEM SHALL BE TESTED. DEFLECTION TESTING AND POSSIBLE REPAIR AND REPLACEMENT, AS STATED ABOVE, SHALL BE INCIDENTAL TO THE CONSTRUCTION OF SEWER PIPE, AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED. ANY REPAIRED SECTIONS WILL BE REQUIRED TO BE VIDEO INSPECTED AT CONTRACTORS COST.
- LEAK TESTING FOR MANHOLES SHALL BE PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH ASTM C1244-93 "STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY THE NEGATIVE PRESSURE (VACUUM) TEST". CONTRACTOR SHALL REPAIR OR REPLACE ANY LINE OR STRUCTURE WHICH FAILS ANY OF THE REQUIRED TESTS, AND RETEST. ALL TESTS SHALL BE WITNESSED BY THE ENGINEER. CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE OF ANY TESTING TO BE PERFORMED. ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED.

**D. CONSTRUCTION**

- CONTRACTOR SHALL NOTIFY THE CITY OF BELLEVILLE OF THE DATE AND SCHEDULE OF CONSTRUCTION.
- PROPER DEWATERING OF THE SEWER TRENCH IS THE RESPONSIBILITY OF THE CONTRACTOR. DEWATERING INTO THE CITY'S SEWER SYSTEM IS STRICTLY FORBIDDEN.
- THE CITY OF BELLEVILLE REQUIRES THAT THE PERMITEE RETAIN A QUALIFIED LICENSED PROFESSIONAL ENGINEER TO OBSERVE THE SEWER CONSTRUCTION PERIODICALLY, TO DETERMINE CONFORMANCE WITH PLANS AND SPECIFICATIONS.
- WHENEVER PIPE LAYING IS NOT ACTIVELY IN PROGRESS, OPEN ENDS OF ALL INSTALLED PIPE AND FITTINGS SHALL BE FITTED WITH A WATERTIGHT PLUG.

**E. ACCEPTANCE**

- PRIOR TO ACCEPTING THE SANITARY SEWERS, THE FOLLOWING ITEMS SHALL BE COMPLETED/SUBMITTED:
- JET CLEAN, AIR, MANDREL, AND MANHOLE TESTS COMPLETED AND RESULTS SUBMITTED. THESE MUST BE SEALED BY A PROFESSIONAL ENGINEER.
  - A NOTARIZED CERTIFICATION, TO BE DELIVERED TO THE OFFICE OF THE WASTEWATER SUPERINTENDENT, BY THE INSTALLING CONTRACTOR THAT HE/SHE HAS INSTALLED ALL THE SEWERS AND TREATMENT FACILITIES IN ACCORDANCE WITH THE PERMITS AND PLANS.
  - SUBMISSION OF TWO (2) 24" x 36" AND THREE (3) 11" x 17" RECORD DRAWINGS (AS-BUILTS) SHOWING CONSTRUCTED MANHOLE INVERT ELEVATIONS, MANHOLE LOCATIONS, SERVICE LATERALS, TEE/WYE LOCATIONS REFERENCED TO DOWNSTREAM MANHOLE. SIZE AND TYPE OF PIPE SHALL ALSO BE ON THE DRAWINGS. ELECTRONIC FILE, CONTAINING AS-BUILT DRAWINGS ON STATE PLANE COORDINATES FOLLOWING AUTOCAD 2000 FORMAT WILL ALSO BE PROVIDED.
  - UPON COMPLETION OF THE PROJECT AFTER ALL REQUIRED TESTING HAS BEEN DONE, A FINAL INSPECTION WILL BE MADE BY CITY PERSONNEL. THE FINAL INSPECTION WILL NOT BE CONDUCTED UNTIL "RECORD" PLANS ARE SUBMITTED. FINAL INSPECTION WILL BE MADE AT THE REQUESTS OF THE OWNER. DEFECTS NOTED MUST BE CORRECTED AND A REINSPECTION MADE BEFORE ACCEPTANCE. IMPROVEMENTS FOUND NOT AS DEPICTED ON THE SUBMITTED "RECORD" PLANS SHALL BE REJECTED.
  - AFTER ALL DEFECTS, IF ANY WERE NOTED DURING FINAL INSPECTION, HAVE BEEN CORRECTED AND PRIOR TO ANY SEWER PERMITS BEING ISSUED, A MAINTENANCE BOND IN AN AMOUNT EQUAL TO FIFTY PERCENT (50%) OF THE CONSTRUCTION COST SHALL BE FILED WITH THE CITY CLERK. THE BOND SHALL BE FOR A PERIOD OF TWO (2) YEARS, COMMENCING ON THE DATE OF FINAL INSPECTION OR REINSPECTION IF NECESSARY, AND SHALL COVER ALL DEFECTS IN MATERIALS AND WORKMANSHIP. THE BOND SHALL BE BINDING ON THE DEVELOPER OR THE CONTRACTOR.
  - ALL EASEMENTS GATHERED BY THE PERMITEE(S), ACROSS PRIVATE PROPERTY THAT IS NOT CONTAINED WITHIN THEIR DEVELOPMENT, SHALL BE ASSIGNED/CONVEYED TO THE CITY OF BELLEVILLE BY THE PERMITEE(S) FREE AND CLEAR OF ANY AND ALL LIENS AND ENCUMBRANCES WITHOUT COST TO THE CITY.
  - AT THE TIME OF ACCEPTANCE OF THE SEWER EXTENSION, TITLE TO IT SHALL BE TRANSFERRED AND CONVEYED TO THE CITY OF BELLEVILLE. BY THE PERMITEE(S) FREE AND CLEAR OF ANY AND ALL LIENS AND ENCUMBRANCES. WITHOUT COST TO THE CITY, AND UPON EXPIRATION OF THE PERMITEE'S MAINTENANCE BOND (TWO (2) YEARS AFTER ACCEPTANCE OF THE SEWERS) THE CITY SHALL ASSUME ALL COSTS OF MAINTENANCE AND REPAIR OF SUCH EXTENSION.

Revisions

0	ISSUED FOR REVIEW	03-11-17
1	EDIT COMMENTS	03-13-17
2	EDIT COMMENTS	04-07-17
3	SEWER EXTENSION	06-07-17
4	CITY COMMENTS	06-22-17

MB Engineering, Inc.  
768 Glen Mor Drive  
Belleville, IL 62221  
(314) 368-3040

STL EQUITIES LLC.  
1415 Elbridge Payne Rd., Ste. 285  
St. Louis, MO 63017  
636-534-5900  
636-534-5734 (Fax)

MAYER DESIGN GROUP  
P.C.

ARCHITECTURE  
PLANNING  
CONSULTING

4400 South Lindbergh Blvd.  
Suite 3  
St. Louis, Missouri  
63127-1603  
Telephone: (314) 849-8777  
Facsimile: (314) 849-4743

Project Code  
**SNP-1705**

Project Title  
**Proposed Retail Store for**

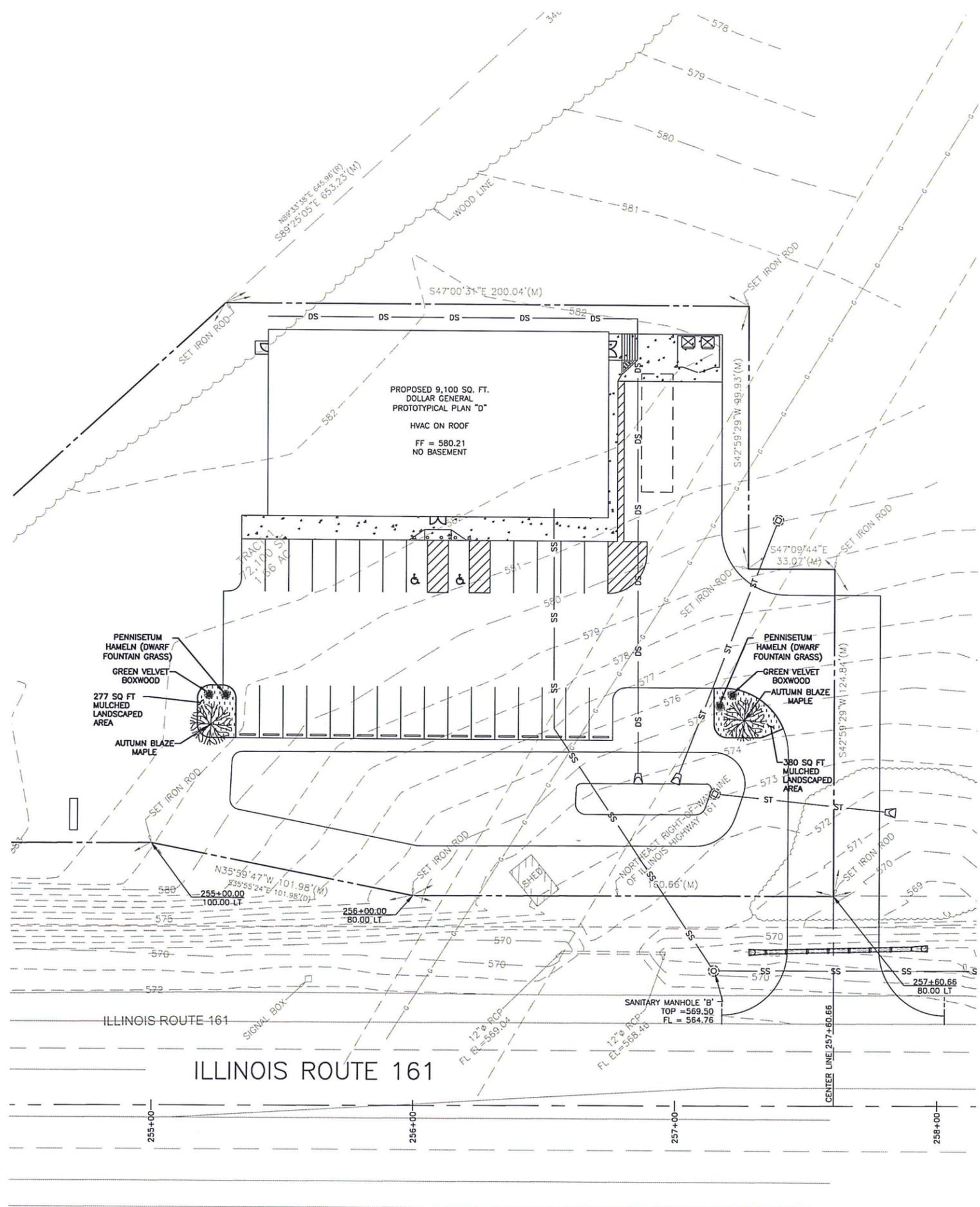
Prototype "D"

2390 W. State Rt. 161  
Belleville, IL  
62226

Drawing Title  
**Sanitary Sewer Plan and Profile**

Date	Drawn	Checked
03/15/17	MB	KB

Drawing Number  
**C2-03**

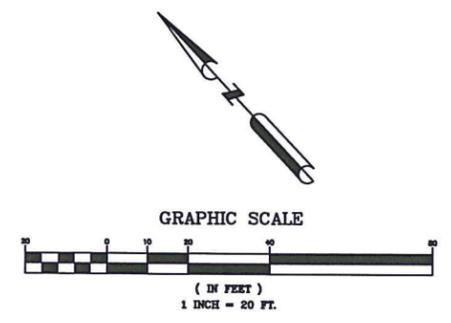


**LAWN SEEDING & SODDING NOTES**

1. ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
2. AREAS TO RECEIVE SEED OR SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
3. SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 1/4 TO 1/3 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AID IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION
4. STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
5. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE, FREE OF ERODED OR BARE AREAS.

**LANDSCAPING NOTES:**

1. TOTAL PAVED PARKING AREA = 11,154 SQUARE FEET. REQUIRED LANDSCAPED AREAS IS 5% OF 11,154 = 558 SQUARE FEET. TOTAL LANDSCAPE AREA PROVIDED = 662 SQUARE FEET
2. NURSERY STOCK SHALL MEET WITH MINIMUM REQUIREMENTS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ASNS), PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM MUTILATION, PLANT DISEASES, INSECT PESTS OR THEIR EGGS, AND FUNGUS AND SHALL HAVE HEALTHY, NORMAL ROOT SYSTEMS. PLANTS SHALL BE NURSERY GROWN STOCK IN CONTAINERS OR FRESHLY DUG, BALLED, AND BURLAPPED.
4. CALIPER MEASUREMENT, HEIGHT MEASUREMENT, MINIMUM CONTAINER VOLUME, DROWN SPREAD, AND NUMBER OF CANES SHALL CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ASNS), PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
5. SHADE TREES SHALL BE AT LEAST TWO INCHES (2") IN DIAMETER AT A POINT THREE FEET (3') ABOVE THE GROUND WHEN PLANTED. ORNAMENTAL TREES SHALL BE A MINIMUM ONE INCH (1") IN DIAMETER AT A POINT THREE FEET (3') ABOVE THE GROUND WHEN PLANTED. TREES SHALL NOT BE PLANTED ANY CLOSER THAN TWO AND ONE-HALF FEET (2.5') FROM THE EDGE OF ANY LANDSCAPED AREA WITHIN AND ALONG THE EDGES OF PARKING AREAS AND INGRESS/EGRESS POINTS.
6. SHRUBS SHALL BE A MINIMUM OF TWELVE INCHES (12") TO EIGHTEEN INCHES (18") HIGH AND/OR EIGHTEEN INCHES (18") SPREAD FOR INTERNAL LANDSCAPED AREAS OF PARKING AREAS AND A MINIMUM OF TWENTY FOUR INCHES (24") TO THIRTY INCHES (30") HEIGHT FOR LANDSCAPED STRIPS LYING BETWEEN PARKING AREAS. SHRUBS MAKING UP BUFFER TYPES "A" AND "B" WHERE A CONTINUOUS HEDGE IS REQUIRED SHALL BE A MINIMUM OF THIRTY SIX INCHES (36") HIGH, OTHERWISE, A MINIMUM SIZE OF TWENTY FOUR INCHES (24") TO THIRTY INCHES (30") HEIGHT IS ALLOWABLE. SHRUBS MAKING UP BUFFER TYPES "C" SHALL BE A MINIMUM OF THIRTY SIX INCHES (36") HIGH WITH AN AGGREGATE AVERAGE HEIGHT OF FORTY EIGHT INCHES (48").
7. MAINTENANCE OF ALL REQUIRED LANDSCAPED AND BUFFER AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. FAILURE TO MAINTAIN PLANTINGS AND OTHER FEATURES OF A REQUIRED LANDSCAPED AREA IN AN ATTRACTIVE AND HEALTHY STATE SHALL BE CONSIDERED A VIOLATION OF THIS ZONING ORDINANCE. REMEDIES SHALL INCLUDE, BUT NOT BE LIMITED TO, REVOCATION OF A CERTIFICATE OF COMPLIANCE AND THE RELATED CERTIFICATE OF OCCUPANCY.
8. THE PLANNING SERVICES DIVISION SHALL PERIODICALLY CONDUCT THE INSPECTION OF ALL LANDSCAPING PLANTED AS A SITE PLAN REQUIREMENT TO ASCERTAIN WHETHER OR NOT THE LANDSCAPING IS STILL ALIVE. IN THE EVENT THAT LANDSCAPING HAS DIED OR BEEN REMOVED, THE CITY SHALL REQUIRE THEIR REPLACEMENT. IF COMPLIANCE IS NOT RECEIVED WITHIN THREE (3) MONTHS OF WRITTEN NOTICE TO THE PROPERTY OWNER, APPROPRIATE STEPS SHALL BE TAKEN TO SECURE COMPLIANCE. (ORD. 2013-20)



**Revisions**

0	ISSUED FOR REVIEW	03-11-17
1	IDOT COMMENTS	03-13-17
2	IDOT COMMENTS	04-07-17
3	SEWER EXTENSION	06-07-17
4	CITY COMMENTS	06-23-17



**STL EQUITIES LLC.**  
 1415 Elbridge Payne Rd., Ste. 285  
 St. Louis, MO 63017  
 636-534-5900  
 636-534-5734 (Fax)



**ARCHITECTURE  
 PLANNING  
 CONSULTING**  
 4400 South Lindbergh Blvd.  
 Suite 3  
 St. Louis, Missouri  
 63127-1603  
 Telephone: (314) 849-8777  
 Facsimile: (314) 849-4743



Project Code  
**SNP-1705**

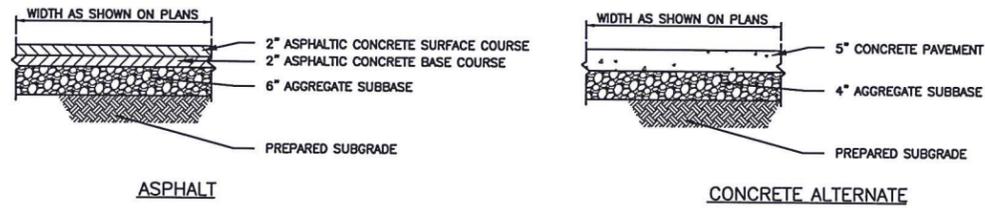
Project Title  
**Proposed Retail Store for DOLLAR GENERAL**  
 Prototype "D"

2390 W. State Rt. 161  
 Belleville, IL 62226

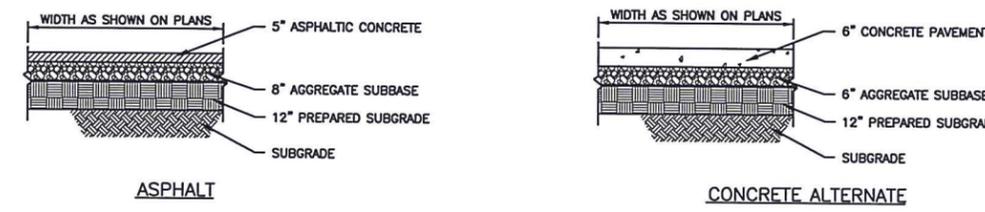
Drawing Title  
**Landscape Plan**

Date Drawn Checked  
 03/15/17 MB KB

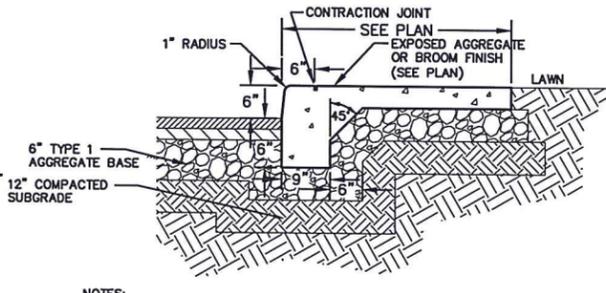
Drawing Number  
**C2-04**



**A LIGHT DUTY PAVEMENT**  
 NOT TO SCALE

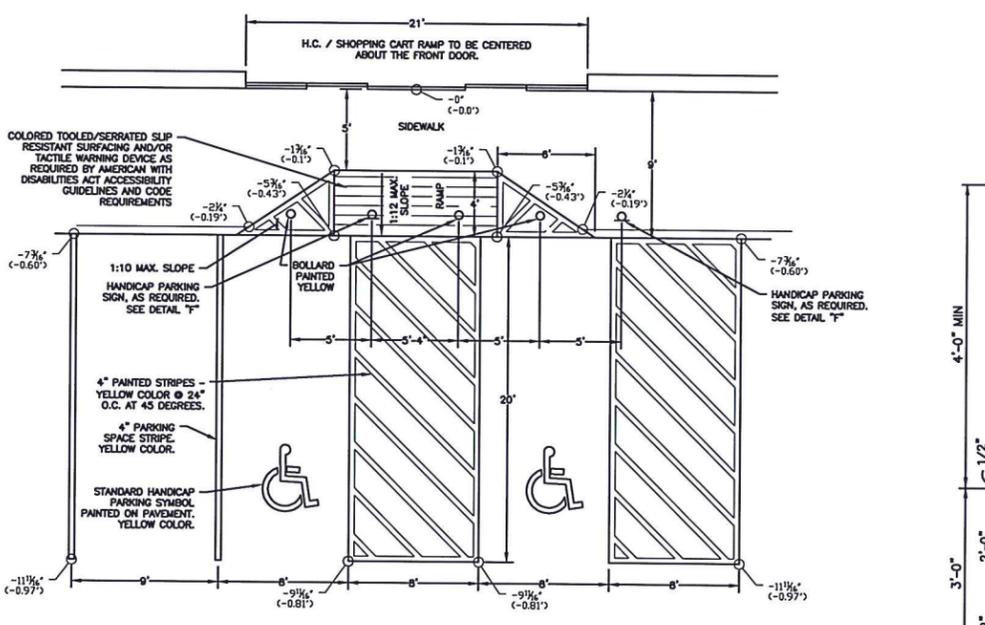


**B HEAVY DUTY PAVEMENT**  
 NOT TO SCALE

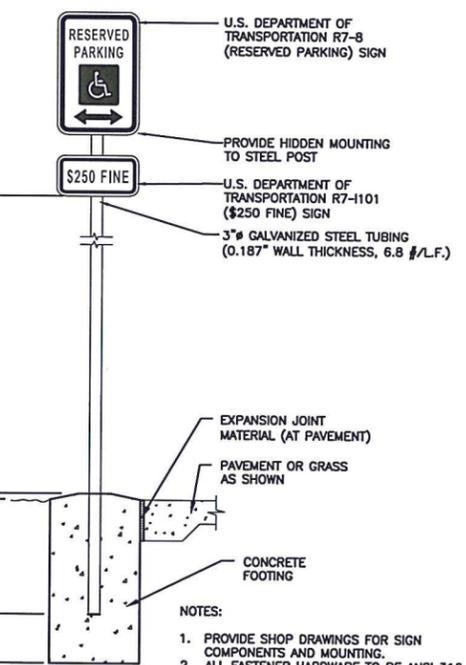


**NOTES:**  
 1. EXPANSION JOINTS SHALL BE PLACED AT 30' SPACING, TANGENT POINTS AT RADII, AND OTHER LOCATIONS AS INDICATED.  
 2. CONTRACTION JOINTS SHALL BE SPACED AT ±5' OR THE WIDTH OF THE WALK. CONTRACTION JOINTS SHALL BE TOOLED.

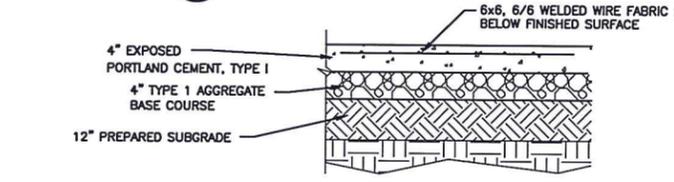
**C MONOLITHIC CURB AND SIDEWALK DETAIL**  
 NOT TO SCALE



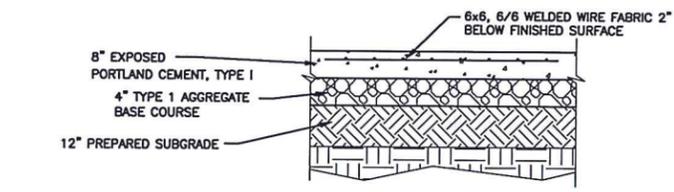
**E HANDICAP PARKING DETAIL**  
 1" = 5'-0"



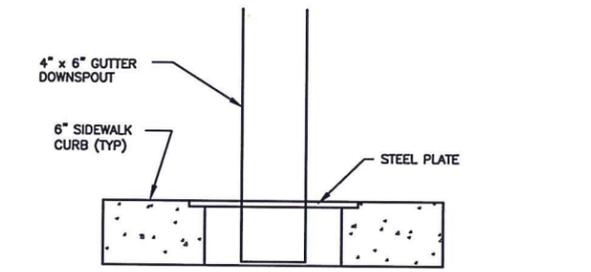
**F ACCESSIBLE PARKING SIGN**  
 NOT TO SCALE



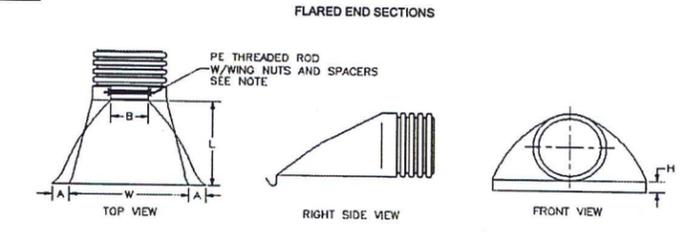
**H CONCRETE HVAC PAD DETAIL**  
 NOT TO SCALE



**I CONCRETE PAD DETAIL**  
 NOT TO SCALE

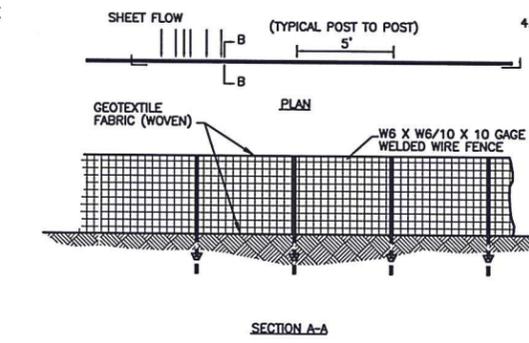


**J GUTTER DOWNSPOUT DETAIL AT SIDEWALK**  
 NOT TO SCALE



PART #	PIPE SIZE	A	B(MAX)	H	L	W
1210NP	12 in (300 mm)	6.5 in (165 mm)	10.0 in (254 mm)	8.5 in (215 mm)	25.0 in (635 mm)	29.0 in (737 mm)
1510NP	15 in (375 mm)	6.5 in (165 mm)	10.0 in (254 mm)	8.5 in (215 mm)	25.0 in (635 mm)	29.0 in (737 mm)
1810NP	18 in (450 mm)	7.5 in (191 mm)	15.0 in (381 mm)	8.5 in (215 mm)	30.0 in (762 mm)	35.0 in (889 mm)
2410NP	24 in (600 mm)	7.5 in (191 mm)	18.0 in (457 mm)	8.5 in (215 mm)	36.0 in (914 mm)	42.0 in (1067 mm)
3015NP	30 in (750 mm)	7.5 in (191 mm)	25.0 in (635 mm)	8.0 in (203 mm)	42.0 in (1067 mm)	63.0 in (1600 mm)
3615NP	36 in (900 mm)	7.5 in (191 mm)	35.0 in (889 mm)	8.0 in (203 mm)	58.0 in (1473 mm)	63.0 in (1600 mm)

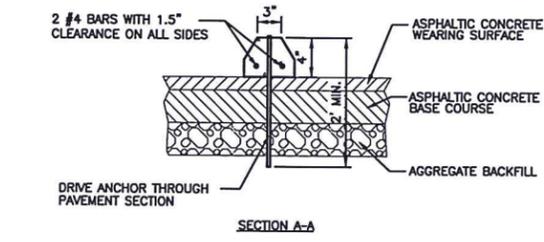
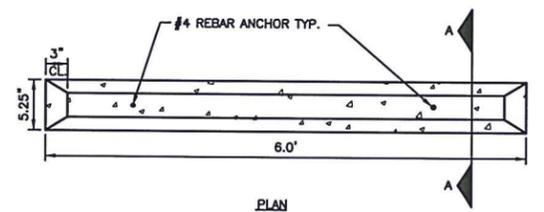
**K PVC END SECTION**  
 NOT TO SCALE



**D SILTATION FENCE**  
 NOT TO SCALE

PIPE DIA.	APPROX. DRAINAGE AREA (sq ft)	WALL	A	B	C	D	E	F	G	H	APPROX. SLOPE
300	240	31	102	610	1241	1831	610	31	229	12.4	
312	253	32	107	634	1284	1894	634	32	240	12.4	
324	266	33	112	658	1337	1957	658	33	251	12.4	
336	279	34	117	682	1390	2020	682	34	262	12.4	
348	292	35	122	706	1443	2083	706	35	273	12.4	
360	305	36	127	730	1496	2146	730	36	284	12.4	
372	318	37	132	754	1549	2209	754	37	295	12.4	
384	331	38	137	778	1602	2272	778	38	306	12.4	
396	344	39	142	802	1655	2335	802	39	317	12.4	
408	357	40	147	826	1708	2398	826	40	328	12.4	
420	370	41	152	850	1761	2461	850	41	339	12.4	
432	383	42	157	874	1814	2524	874	42	350	12.4	
444	396	43	162	898	1867	2587	898	43	361	12.4	
456	409	44	167	922	1920	2650	922	44	372	12.4	
468	422	45	172	946	1973	2713	946	45	383	12.4	
480	435	46	177	970	2026	2776	970	46	394	12.4	
492	448	47	182	994	2079	2839	994	47	405	12.4	
504	461	48	187	1018	2132	2902	1018	48	416	12.4	
516	474	49	192	1042	2185	2965	1042	49	427	12.4	
528	487	50	197	1066	2238	3028	1066	50	438	12.4	
540	500	51	202	1090	2291	3091	1090	51	449	12.4	
552	513	52	207	1114	2344	3154	1114	52	460	12.4	
564	526	53	212	1138	2397	3217	1138	53	471	12.4	
576	539	54	217	1162	2450	3280	1162	54	482	12.4	
588	552	55	222	1186	2503	3343	1186	55	493	12.4	
600	565	56	227	1210	2556	3406	1210	56	504	12.4	
612	578	57	232	1234	2609	3469	1234	57	515	12.4	
624	591	58	237	1258	2662	3532	1258	58	526	12.4	
636	604	59	242	1282	2715	3595	1282	59	537	12.4	
648	617	60	247	1306	2768	3658	1306	60	548	12.4	
660	630	61	252	1330	2821	3721	1330	61	559	12.4	
672	643	62	257	1354	2874	3784	1354	62	570	12.4	
684	656	63	262	1378	2927	3847	1378	63	581	12.4	
696	669	64	267	1402	2980	3910	1402	64	592	12.4	
708	682	65	272	1426	3033	3973	1426	65	603	12.4	
720	695	66	277	1450	3086	4036	1450	66	614	12.4	
732	708	67	282	1474	3139	4099	1474	67	625	12.4	
744	721	68	287	1498	3192	4162	1498	68	636	12.4	
756	734	69	292	1522	3245	4225	1522	69	647	12.4	
768	747	70	297	1546	3298	4288	1546	70	658	12.4	
780	760	71	302	1570	3351	4351	1570	71	669	12.4	
792	773	72	307	1594	3404	4414	1594	72	680	12.4	
804	786	73	312	1618	3457	4477	1618	73	691	12.4	
816	799	74	317	1642	3510	4540	1642	74	702	12.4	
828	812	75	322	1666	3563	4603	1666	75	713	12.4	
840	825	76	327	1690	3616	4666	1690	76	724	12.4	
852	838	77	332	1714	3669	4729	1714	77	735	12.4	
864	851	78	337	1738	3722	4792	1738	78	746	12.4	
876	864	79	342	1762	3775	4855	1762	79	757	12.4	
888	877	80	347	1786	3828	4918	1786	80	768	12.4	
900	890	81	352	1810	3881	4981	1810	81	779	12.4	
912	903	82	357	1834	3934	5044	1834	82	790	12.4	
924	916	83	362	1858	3987	5107	1858	83	801	12.4	
936	929	84	367	1882	4040	5170	1882	84	812	12.4	
948	942	85	372	1906	4093	5233	1906	85	823	12.4	
960	955	86	377	1930	4146	5296	1930	86	834	12.4	
972	968	87	382	1954	4199	5359	1954	87	845	12.4	
984	981	88	387	1978	4252	5422	1978	88	856	12.4	
996	994	89	392	2002	4305	5485	2002	89	867	12.4	
1008	1007	90	397	2026	4358	5548	2026	90	878	12.4	
1020	1020	91	402	2050	4411	5611	2050	91	889	12.4	
1032	1033	92	407	2074	4464	5674	2074	92	900	12.4	
1044	1046	93	412	2098	4517	5737	2098	93	911	12.4	
1056	1059	94	417	2122	4570	5800	2122	94	922	12.4	
1068	1072	95	422	2146	4623	5863	2146	95	933	12.4	
1080	1085	96	427	2170	4676	5926	2170	96	944	12.4	
1092	1098	97	432	2194	4729	5989	2194	97	955	12.4	
1104	1111	98	437	2218	4782	6052	2218	98	966	12.4	
1116	1124	99	442	2242	4835	6115	2242	99	977	12.4	
1128	1137	100	447	2266	4888	6178	2266	100	988	12.4	

**G CONCRETE END SECTION**  
 NOT TO SCALE



**L WHEEL STOP DETAIL**  
 NOT TO SCALE

**GENERAL NOTES**  
 1. DO NOT SCALE DRAWING. FOLLOW DIMENSIONS.  
 2. SILTATION CONTROL DEVICES TO REMAIN IN PLACE FURTHER EROSION OF THE SOIL.  
 3. SILTATION FENCES SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENTATION WHICH HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 OF THE HEIGHT OF THE SILTATION FENCE.  
 4. ATTACHMENT OF WELDED WIRE FENCE AND GEOTEXTILE FABRIC TO BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION.

**GENERAL NOTES**  
 All slope ratios are expressed as units of vertical displacement to units of horizontal displacement (V:H).  
 All dimensions are in millimeters (inches) unless otherwise shown.  
 \* Radius as furnished by manufacturer.

**Revisions**

0	ISSUED FOR REVIEW	03-11-17
1	IDOT COMMENTS	03-15-17
2	SEWER EXTENSION	04-01-17
3	CITY COMMENTS	06-01-17
4	CITY COMMENTS	06-23-17

**STL EQUITIES LLC.**  
 1415 Ebridge Payne Rd., Ste. 285  
 St. Louis, MO 63017  
 636-534-5900  
 636-534-5734 (Fax)

**MAYER DESIGN GROUP P.C.**  
 ARCHITECTURE  
 PLANNING  
 CONSULTING  
 4400 South Lindbergh Blvd.  
 Suite 3  
 St. Louis, Missouri  
 63127-1603  
 Telephone: (314) 849-8777  
 Facsimile: (314) 849-4743

**MICHAEL A. BUESCHER**  
 082-658975  
 REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS  
 6/22/17

Project Code  
**SNP-1705**

Project Title  
 Proposed Retail Store for  
**DOLLAR GENERAL**  
 Prototype "D"  
 2390 W. State Rt. 161  
 Belleville, IL 62226

Drawing Title  
**Typical Details**

Date Drawn Checked  
 03/15/17 MB KB

Drawing Number  
**C3-01**

Revisions	
0	ISSUED FOR REVIEW 03-11-17
1	IDOT COMMENTS 03-13-17
2	IDOT COMMENTS 04-07-17
3	SEWER EXTENSION 06-07-17
4	CITY COMMENTS 06-22-17



MB Engineering, Inc.  
768 Glen Mar Drive  
Belleville, IL 62221  
(314) 368-3040

**STL EQUITIES LLC.**  
1415 Elbridge Payne Rd., Ste. 285  
St. Louis, MO 63017  
636-534-5900  
636-534-5734 (Fax)



**MAYER DESIGN GROUP**  
P.C.  
ARCHITECTURE  
PLANNING  
CONSULTING  
4400 South Lindbergh Blvd.  
Suite 3  
St. Louis, Missouri  
63127-1603  
Telephone: (314) 849-8777  
Facsimile: (314) 849-4743



Project Code  
**SNP-1705**

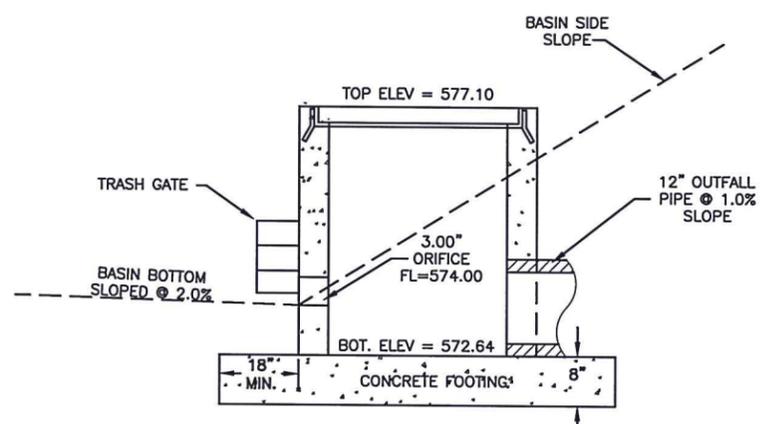
Project Title  
Proposed Retail Store  
for  
**DOLLAR GENERAL**  
Prototype "D"

2390 W. State Rt. 161  
Belleville, IL 62226

Drawing Title  
Typical Details

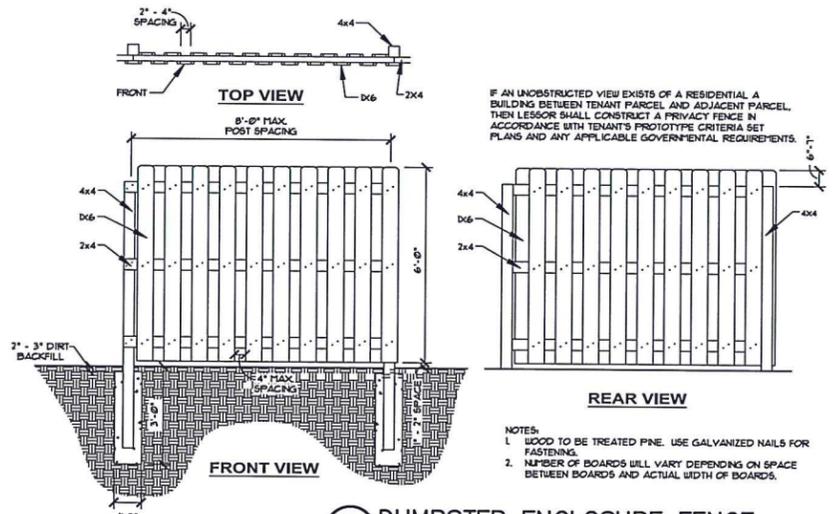
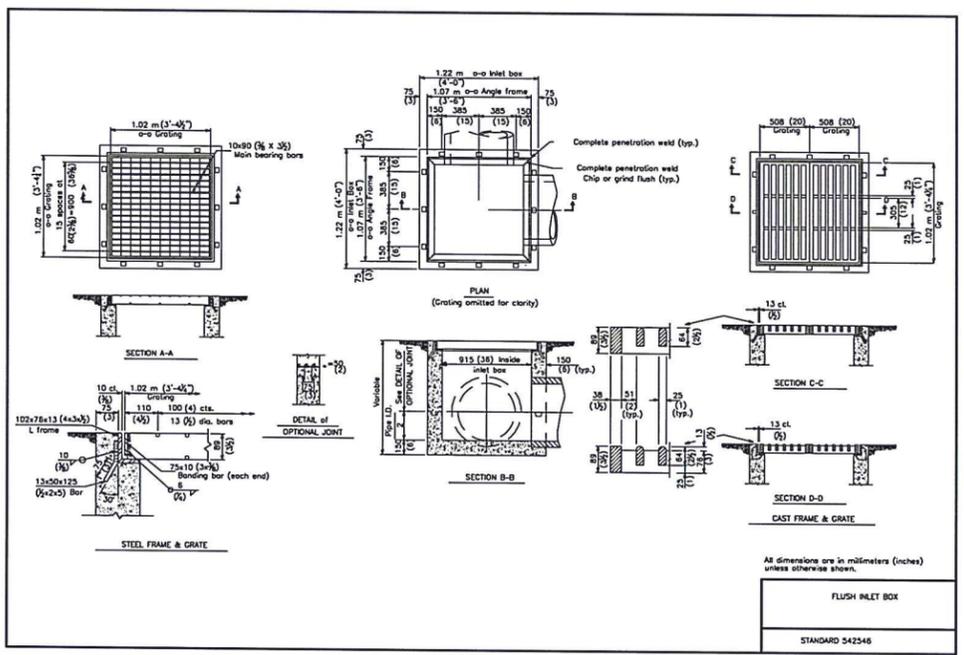
Date Drawn Checked  
03/15/17 MB KB

Drawing Number  
**C3-02**



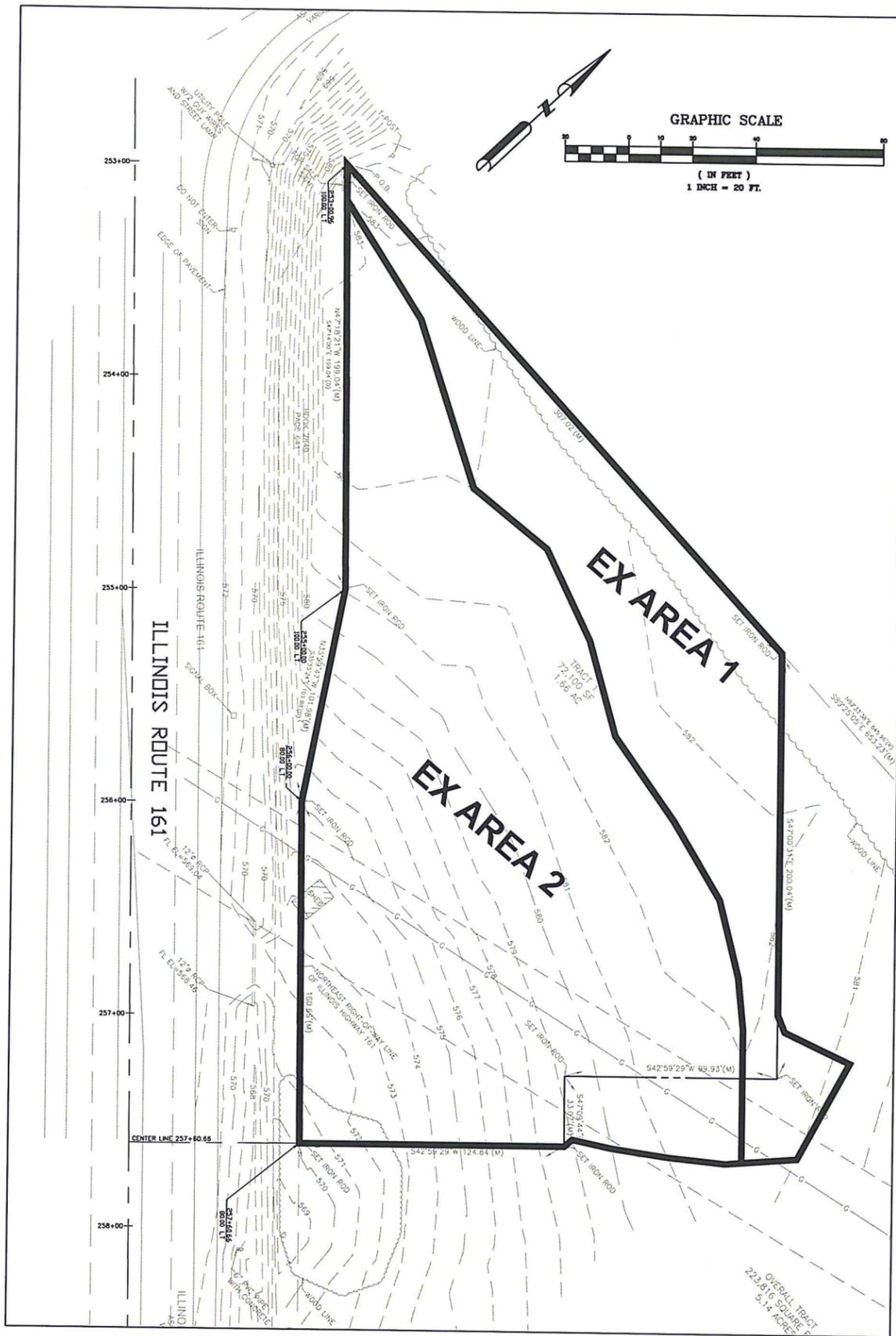
\*SEE FLUSH INLET BOX FOR MISSING DETAIL

**(A) DETENTION BASIN OUTFALL STRUCTURE**  
NOT TO SCALE



**(B) DUMPSTER ENCLOSURE FENCE**  
NO SCALE

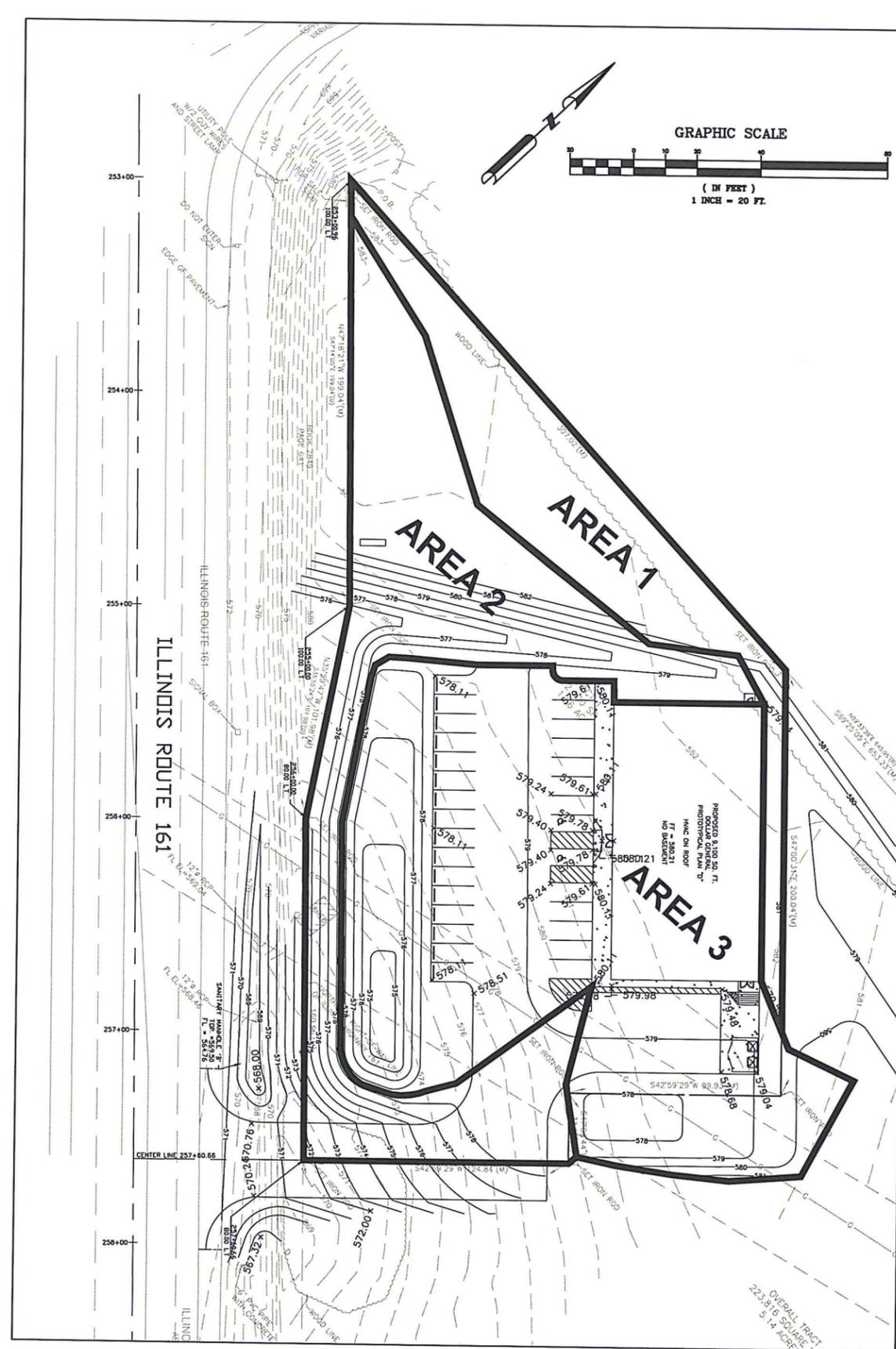
- NOTES:
1. WOOD TO BE TREATED PINE. USE GALVANIZED NAILS FOR FASTENING.
  2. NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.



EXISTING AREA 1: 0.511 ACRES C = 0.20  
 10 YR. = 0.46 CFS  
 100 YR = 0.79 CFS

EXISTING AREA 2: 1.257 ACRES C = 0.20  
 10 YR. = 1.04 CFS  
 100 YR = 1.79 CFS

NOTES:  
 SEE DETENTION BASIN REPORT FOR DETAILED CALCULATIONS.  
 DRAINAGE AREA FLOWING EAST  
 PROPOSED AREA 1 IS LESS THAN EXISTING AREA1  
 THEREFORE NO ADDITIONAL DETENTION IS REQUIRED



PROPOSED AREA 1: 0.271 ACRES C = 0.20  
 10 YR. = 0.25 CFS  
 100 YR = 0.42 CFS

PROPOSED AREA 2: 0.585 ACRES C = 0.32  
 10 YR. = 0.63 CFS  
 100 YR = 1.08 CFS

PROPOSED AREA 3: 0.959 ACRES C = 0.68  
 10 YR. = 3.17 CFS  
 100 YR = 5.45 CFS

DRAINAGE AREA FLOWING SOUTH  
 PROPOSED AREA 2 BYPASSES THE DETENTION BASIN  
 TOTAL RUNOFF BYPASSING THE DETENTION BASIN:  
 10 YR. = 0.63 CFS  
 100 YR. = 1.08 CFS

THEREFORE THE ALLOWABLE RUNOFF OUT OF THE  
 DETENTION BASIN WILL BE:  
 10 YR. = 1.04 - 0.63 = 0.41 CFS  
 100 YR. = 1.79 - 1.08 = 0.71 CFS

Revisions		
0	ISSUED FOR REVIEW	03-11-17
1	DOT COMMENTS	03-13-17
2	DOT COMMENTS	04-07-17
3	SEWER EXTENSION	06-07-17
4	CITY COMMENTS	06-23-17



MB Engineering, Inc.  
 768 Glen Mar Drive  
 Belleville, IL 62221  
 (314) 368-3040

STL EQUITIES LLC.  
 1415 Elbridge Payne Rd., Ste. 285  
 St. Louis, MO 63017  
 636-534-5900  
 636-534-5734 (Fax)



MAYER  
 DESIGN  
 GROUP  
 P.C.  
 ARCHITECTURE  
 PLANNING  
 CONSULTING  
 4400 South Lindbergh Blvd.  
 Suite 3  
 St. Louis, Missouri  
 63127-1603  
 Telephone: (314) 849-8777  
 Facsimile: (314) 849-4743



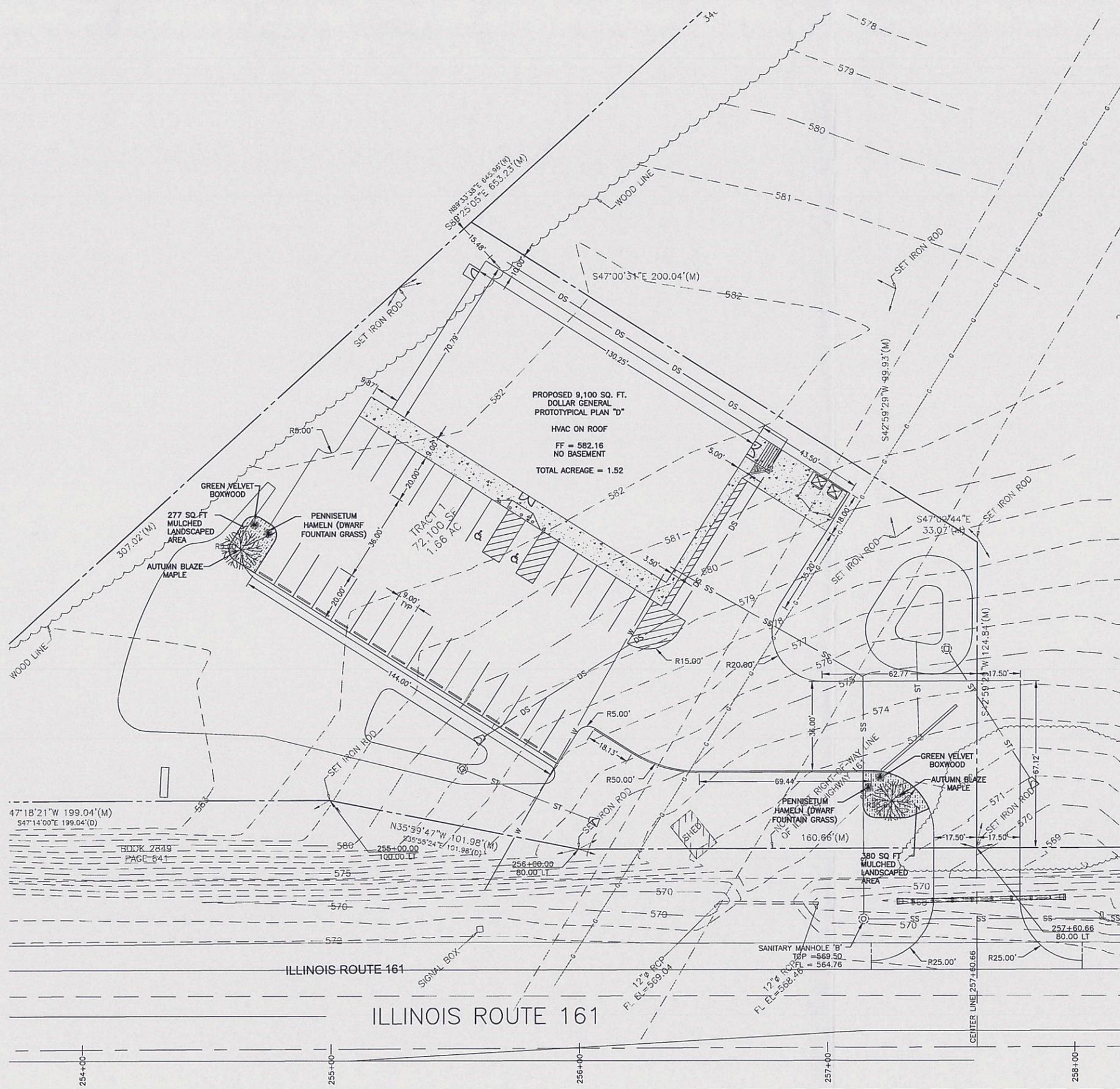
Project Code  
**SNP-1705**

Project Title  
**Proposed Retail Store**  
 for  
**DOLLAR GENERAL**  
 Prototype "D"  
 2390 W. State Rt. 161  
 Belleville, IL 62226

Drawing Title  
**Drainage Area Map**

Date	Drawn	Checked
03/15/17	MB	KB

Drawing Number  
**C4-01**



PROPOSED 9,100 SQ. FT.  
DOLLAR GENERAL  
PROTOTYPICAL PLAN "D"  
HVAC ON ROOF  
FF = 582.16  
NO BASEMENT  
TOTAL ACREAGE = 1.52

**LAWN SEEDING & SODDING NOTES**

1. ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
2. AREAS TO RECEIVE SEED OR SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
3. SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 1/4 TO 1/3 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AIDE IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION
4. STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
5. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE, FREE OF ERODED OR BARE AREAS.

**LANDSCAPING NOTES:**

1. TOTAL PAVED PARKING AREA = 11,154 SQUARE FEET. REQUIRED LANDSCAPED AREAS IS 5% OF 11,154 = 558 SQUARE FEET. TOTAL LANDSCAPE AREA PROVIDED = 662 SQUARE FEET
2. NURSERY STOCK SHALL MEET WITH MINIMUM REQUIREMENTS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ASNS), PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM MUTILATION, PLANT DISEASES, INSECT PESTS OR THEIR EGGS, AND FUNGUS AND SHALL HAVE HEALTHY, NORMAL ROOT SYSTEMS. PLANTS SHALL BE NURSERY GROWN STOCK IN CONTAINERS OR FRESHLY DUG, BALLED, AND BURLAPPED.
4. CALIPER MEASUREMENT, HEIGHT MEASUREMENT, MINIMUM CONTAINER VOLUME, DROWN SPREAD, AND NUMBER OF CANES SHALL CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ASNS), PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
5. SHADE TREES SHALL BE AT LEAST TWO INCHES (2") IN DIAMETER AT A POINT THREE FEET (3') ABOVE THE GROUND WHEN PLANTED. ORNAMENTAL TREES SHALL BE A MINIMUM ONE INCH (1") IN DIAMETER AT A POINT THREE FEET (3') ABOVE THE GROUND WHEN PLANTED. TREES SHALL NOT BE PLANTED ANY CLOSER THAN TWO AND ONE-HALF FEET (2.5') FROM THE EDGE OF ANY LANDSCAPED AREA WITHIN AND ALONG THE EDGES OF PARKING AREAS AND INGRESS/EGRESS POINTS.
6. SHRUBS SHALL BE A MINIMUM OF TWELVE INCHES (12") TO EIGHTEEN INCHES (18") HIGH AND/OR EIGHTEEN INCHES (18") SPREAD FOR INTERNAL LANDSCAPED AREAS OF PARKING AREAS AND A MINIMUM OF TWENTY FOUR INCHES (24") TO THIRTY INCHES (30") HEIGHT FOR LANDSCAPED STRIPS LYING BETWEEN PARKING AREAS. SHRUBS MAKING UP BUFFER TYPES "A" AND "B" WHERE A CONTINUOUS HEDGE IS REQUIRED SHALL BE A MINIMUM OF THIRTY SIX INCHES (36") HIGH, OTHERWISE, A MINIMUM SIZE OF TWENTY FOUR INCHES (24") TO THIRTY INCHES (30") HEIGHT IS ALLOWABLE. SHRUBS MAKING UP BUFFER TYPES "C" SHALL BE A MINIMUM OF THIRTY SIX INCHES (36") HIGH WITH AN AGGREGATE AVERAGE HEIGHT OF FORTY EIGHT INCHES (48").
7. MAINTENANCE OF ALL REQUIRED LANDSCAPED AND BUFFER AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. FAILURE TO MAINTAIN PLANTINGS AND OTHER FEATURES OF A REQUIRED LANDSCAPED AREA IN AN ATTRACTIVE AND HEALTHY STATE SHALL BE CONSIDERED A VIOLATION OF THIS ZONING ORDINANCE. REMEDIES SHALL INCLUDE, BUT NOT BE LIMITED TO, REVOCATION OF A CERTIFICATE OF COMPLIANCE AND THE RELATED CERTIFICATE OF OCCUPANCY.
8. THE PLANNING SERVICES DIVISION SHALL PERIODICALLY CONDUCT THE INSPECTION OF ALL LANDSCAPING PLANTED AS A SITE PLAN REQUIREMENT TO ASCERTAIN WHETHER OR NOT THE LANDSCAPING IS STILL ALIVE. IN THE EVENT THAT LANDSCAPING HAS DIED OR BEEN REMOVED, THE CITY SHALL REQUIRE THEIR REPLACEMENT. IF COMPLIANCE IS NOT RECEIVED WITHIN THREE (3) MONTHS OF WRITTEN NOTICE TO THE PROPERTY OWNER, APPROPRIATE STEPS SHALL BE TAKEN TO SECURE COMPLIANCE. (ORD. 2013-20)

Revisions		
0	ISSUED FOR REVIEW	03-11-17
1	IDOT COMMENTS	03-13-17
2	IDOT COMMENTS	04-07-17
3	SEWER EXTENSION	06-07-17
4	CITY COMMENTS	06-23-17
5	IEPA COMMENTS	07-22-17
6	REDESIGN FOR GAS LINE	08-03-17

**MB Engineering, Inc.**  
768 Glen Mor Drive  
Belleville, IL 62221  
(314) 368-3040

**STL EQUITIES LLC.**  
1415 Elbridge Payne Rd., Ste. 285  
St. Louis, MO 63017  
636-534-5900  
636-534-5734 (Fax)

**MAYER DESIGN GROUP**  
P.C.

ARCHITECTURE  
PLANNING  
CONSULTING  
4400 South Lindbergh Blvd.  
Suite 3  
St. Louis, Missouri  
63127-1603  
Telephone: (314) 849-8777  
Facsimile: (314) 849-4743



Project Code  
**SNP-1705**

Project Title  
**Proposed Retail Store for**

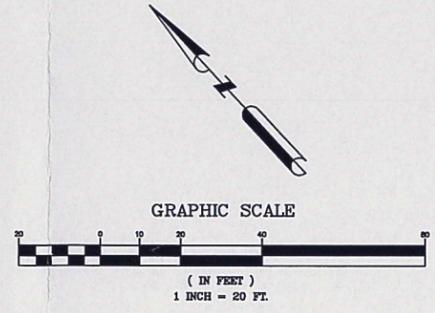
**DOLLAR GENERAL**

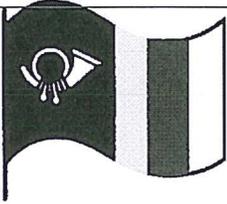
Prototype "D"  
2390 W. State Rt. 161  
Belleville, IL 62226

Drawing Title  
**Landscape Plan**

Date Drawn Checked  
03/15/17 MB KB

Drawing Number  
**C2-04**





CITY OF BELLEVILLE  
ECONOMIC DEVELOPMENT, PLANNING AND ZONING DEPARTMENT

APPLICATION FOR SITE PLAN

Subject Property Address: 2390 W. State Rt 161, Belleville, IL

Applicant/Developer Name: Girard Construction Services,

Mailing Address: 1415 Elbridge Payne Rd. #295

City: Chesterfield State: MO Zip: 63017

Telephone: 636-534-5900 Email: Pat@westmoregroup.com

Property Owner Name: Marco Investments - Doug Martin

Mailing Address: 1101 Centerville Ave.

City: Belleville State: IL Zip: 62220

Telephone: 618-550-8395 Email: dmartin@msco.net

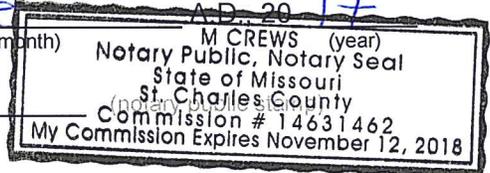
I certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate. I consent to the entry in or upon the premises described in this application by any authorized official of the City of Belleville for the purpose of inspecting, or of posting, maintaining and removing such notices as may be required by law.

(Printed Applicant Name) Patrice E. Boehler has appeared before me personally and certified that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate.

Signature of Applicant: Patrice E Boehler Date: 6-5-17

Subscribed and Sworn to before this 5th day of June A.D., 20 17

Notary Public: M. Crews

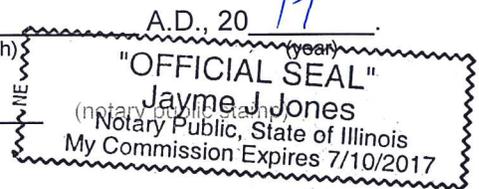


(Printed Owner) Douglas G. Martin has appeared before me personally and certified that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate.

Signature of Owner: Doug G. Martin Date: 6/12/17

Subscribed and Sworn to before this 12th day of June A.D., 20 17

Notary Public: Jayne J Jones



**Site Information:**

Legal Description: Lots/Section(s): See Attached Block(s): \_\_\_\_\_  
Subdivision: \_\_\_\_\_

Project Name: Dollar General

Current Zoning: C2 - Heavy Commercial

Current Use: VACANT

Proposed Use of Building: retail

Square Footage of Existing Building: N/A

Square Footage of Proposed Building: 9,100 SF

**Submittal Process:**

- Completed Application submitted to Economic Development Planning and Zoning Department (2nd floor of City Hall) by noon on the last Friday of Month A.
- Staff meets first Thursday of Month B to discuss and review plans, returns comments.
- Staff meets with Applicant second Thursday of Month B to review revisions or answer questions regarding comments.
- Pending staff has signed off on all revisions, staff prepares materials for public meetings.
- Site Plan goes before Zoning Board of Appeals on fourth Thursday of Month B for a recommendation.
- Site Plan goes before Planning Commission on first Wednesday of Month C for a recommendation.
- Site Plan goes before next available City Council Meeting, either first or third Monday of Month C for final decision.
- If approved, submit copies of final Site Plan to Economic Development, Planning, and Zoning for recording with St. Clair County
- Submit building and construction plans to Health, Housing, and Building for review.
- Pre-Construction meeting, highly recommended
- Development Agreement executed, if applicable
- Building Permit Issued
- Final Acceptance is issued
- Commercial Occupancy Permit(s), Business License(s), and Sign Permit(s) applied for & issued

Economic Development, Planning, and Zoning Department  
101 S. Illinois Street • Office 201  
Belleville, Illinois 62220  
Phone: 618-233-6518 x 1250 • Fax: 618-355-4209 • Email: EDPZ@belleville.net

**Parties of Interest**

Please provide contact information for all parties involved in project.

Principal Contact: Pat Boehler Title: Managing member  
Business Name: Glenwood Equities, LLC  
Street Address: 1415 Elbridge Payne Rd #285  
City: Chesterfield State: MO Zip: 63017  
Telephone: 636-534-5900 Ext 103  
Email: pat@westmoregroup.com

Engineer: Mike Buescher  
Business Name: Gateway Land Services, Inc.  
Street Address: 768 Glenmor Dr.  
City: Belleville State: IL Zip: 62221  
Telephone: 314-368-3040  
Email: mbengineeringinc@gmail.com

Architect: Matt Mayer  
Business Name: Mayer Design Group P.C.  
Street Address: 4400 S. Lindbergh Blvd.  
City: St. Louis State: MO Zip: 63127  
Telephone: 314-849-4743  
Email: mayerdesigngroup@earthlink.net

Other: \_\_\_\_\_  
Business Name: \_\_\_\_\_  
Street Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email: \_\_\_\_\_

Other: \_\_\_\_\_  
Business Name: \_\_\_\_\_  
Street Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email: \_\_\_\_\_

(Attach additional sheets as necessary.)

LEGAL DESCRIPTION: TRACT 1

A TRACT OF LAND BEING PART OF LOTS 8 AND 18 IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 8 WEST OF THE 3<sup>RD</sup> P.M., CITY OF BELLEVILLE, ST. CLAIR COUNTY, ILLINOIS DESCRIBED TO WIT:

BEGINNING AT A SET IRON ROD AT THE INTERSECTION OF SULLIVAN DRIVE AND ILLINOIS HIGHWAY 161; THENCE SOUTH 89°-25'-05" EAST 307.02 FEET TO A SET IRON ROD; THENCE SOUTH 47°-00'-31" EAST 200.04 FEET TO A SET IRON ROD; THENCE SOUTH 42°-59'-29" WEST 99.93 FEET TO A SET IRON ROD; THENCE SOUTH 47°-09'-44" EAST 33.07 FEET TO A SET IRON ROD; THENCE SOUTH 42°-59'-29" WEST 124.84 FEET TO A SET IRON ROD ON THE NORTH RIGHT OF WAY LINE OF SAID HIGHWAY 161; THENCE ALONG THE SAID NORTH LINE NORTH 47°-18'-21" WEST 160.66 FEET TO A SET IRON ROD; THENCE NORTH 35°-59'-47" WEST 101.98 FEET TO A SET IRON ROD; THENCE NORTH 47°-18'-21" WEST 199.04 FEET TO THE POINT OF BEGINNING. CONTAINING 1.66 ACRES.

## **DEVELOPMENT AGREEMENT**

This agreement made this 18<sup>th</sup> day of September, 2017 by and between the City of Belleville, Illinois (the "City") and **Escape 618 ("Escape 618")**:

### **WITNESSETH:**

**WHEREAS, Escape 618** intends on investing a minimum of \$700,000.00 to complete the remodeling of the existing facility located at 102 East Main Street in Belleville (the "Project"), and;

**WHEREAS,** the parties have reached an agreement in order to set forth the terms upon which the City would provide certain economic incentives for the Project and the terms upon which **Escape 618** would provide jobs at said location, and;

### **Responsibilities of the City of Belleville**

1. Reimburse Escape 618 \$5,000.00 in TIF #17 funds for TIF eligible expenses at 102 East Main St. within sixty (60) days of receipt of documentation of eligible costs incurred.
2. Reimburse Escape 618 \$5,000.00 in TIF #17 funds for TIF eligible expenses at 102 East Main St. after May 1, 2018 after receipt of documentation of eligible costs incurred.

### **Responsibilities of Escape 618**

- A. Invest no less than \$700,000.00 at 102 East Main St. limited to the remodeling of the existing facility no later than March 31, 2018, and;
- B. Create six (6) FTE jobs within the first year of operation, and;
- C. Create two (2) additional FTE jobs within the second year of operation, and;
- D. Commit to annual sales subject to sales tax of no less than \$180,000.00, and;
- E. Escape 618 and any heirs and/or successors shall remain and operate at the site for no less than five (5) years, and;
- F. Compliance with all existing and applicable Federal, State, County and Local laws and ordinances.

### **Penalties**

In the event that **Escape 618** fails to meet its obligations under Sections (A), (B), (C), (D), (E), (F) or (G) of the section entitled "Responsibilities of **Escape 618**" of the Development Agreement, all public funds provided under (1) of the section entitled "Responsibilities of the City of Belleville" received to date as per the Development Agreement from the City of Belleville shall be repaid to the City of Belleville and all remaining amounts to be provided if any, shall be terminated.

### **Miscellaneous**

1. **Entire Agreement.** This Agreement and any written amendments hereto shall constitute the entire agreement between the parties. Neither party shall be bound by any terms, conditions, statements or representatives, not herein contained. Each party hereby acknowledges that in executing this Agreement it has not been induced, persuaded or motivated by any promise or representation made by the other party, unless expressly set forth herein. All previous negotiations, statements and preliminary agreements by the parties or their representatives are merged in this Agreement.
2. **Validity.** It is understood and agreed by the parties hereto that if any part, term, or provision of this Agreement is held by a court of law to be illegal or in conflict with any law of the State of Illinois, the validity of the remaining portions or provisions shall not be affected, and the rights and obligations of the parties shall be construed and enforced

as if the Agreement did not contain the particular part, term or provision held to be invalid.

3. Notices. Notices, or other communications required or which may be given under this Agreement shall be in writing, and delivered either personally, or by certified or registered mail, to the addresses indicated for each party below after their respective signatures, or to such other address as designated by a party similar notice to the other party. Date of notice shall be the date of delivery in the case of delivered notice or the date of posting in the mail in the case of mail notice.
4. Signage. Agree to allow City to place on the premises a sign indicating financial assistance has been provided by the City of Belleville for a minimum of fifteen (15) days each before and after opening of the facility.
5. Current with Payments. Agree to pay in full the City of Belleville on any outstanding invoices containing the name or names of the individual, company and/or corporation receiving the said inducements.
6. Execution of Agreement. If this agreement is not fully executed within sixty (60) days of City Council approval, it shall be considered null and void.
7. Prevailing Wage. Projects receiving incentives/inducements from the City of Belleville will be required to comply with the President's executive order no. 11246, as amended (prevailing wage).
8. Superseder. This Agreement supersedes and replaces any and all prior agreements and understandings between the City and **Escape 618** with respect to the subject matter hereof.
9. Request of Payment. The party receiving inducements must officially request payment from the City. This must be done via letter to include documentation of costs incurred as outlined in the section titled "Responsibilities of **Escape 618**".
10. Compliance Reporting. Agree to submit Annual Certification of Compliance With Development Agreement form to document compliance with items as outlined in the section titled "Responsibilities of **Escape 618**". Such reporting is required for the life of the agreement, which is defined as the timeframe of the commitment to remain and operate at the project location as identified in the section titled "Responsibilities of **Escape 618**".

CITY OF BELLEVILLE, ILLINOIS  
City Hall  
101 South Illinois Street  
Belleville, Illinois 62220

By: \_\_\_\_\_  
MAYOR

ATTEST: \_\_\_\_\_  
CITY CLERK

Escape 618  
102 East Main St.  
Belleville, IL 62220

By: \_\_\_\_\_  
Tyler Renner, Owner

---

---

**REDEVELOPMENT AGREEMENT**

**Dated as of \_\_\_\_\_, 2017**

**by and between**

**CITY OF BELLEVILLE, ILLINOIS**

**and**

**SONOMACAP RE FUND III, LLC**

**relating to:**

**WEST MAIN RESIDENTIAL REDEVELOPMENT PROJECT**

**CITY OF BELLEVILLE, ILLINOIS**

---

---

## **REDEVELOPMENT AGREEMENT**

**THIS REDEVELOPMENT AGREEMENT** (the “Agreement”) is made and entered into as of \_\_\_\_\_, 2017, by and among the **CITY OF BELLEVILLE, ILLINOIS** (the “City”), an incorporated municipality of the State of Illinois, and **SONOMACAP RE FUND III, LLC**, an Illinois limited liability company (the “Developer”).

### **RECITALS**

1. The City believes that the redevelopment of the Tax Increment Financing Area is in the vital and best interests of the City and the health, safety, morals and welfare of its residents, and in accordance with the public purposes and provisions of the applicable federal, state, and local laws.

2. The City has determined that the Developer possesses the experience and qualifications to undertake the Redevelopment Project (as hereinafter defined).

3. In order to induce the Developer to undertake the Redevelopment Project, the City desires to pledge and expend Tax Increment Financing Revenues (as hereinafter defined) to facilitate the financing of the Redevelopment Project.

4. Pursuant to the Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11-74.4-1 through 65 ILCS 5/11-74.4-11 of the Illinois Compiled Statutes, as amended (the “TIF Act”), the City Council, by Ordinance No. 4352 adopted on \_12/39/86\_, and amended by Ordinance No. 6628 adopted on \_3/17/04\_, adopted and approved a redevelopment plan entitled “TIF III Redevelopment Plan and Project” dated 12/30/86 (the “Redevelopment Plan”) and designated as the “TIF III Redevelopment Project Area” a certain portion of the City described therein (the “Redevelopment Project Area”).

5. The Developer has determined that the Redevelopment Project is not economically feasible using traditional development financing and is unwilling to undertake the Redevelopment Project and pay costs connected with the Redevelopment Project unless the City agrees that the Tax Increment Financing Revenues (as hereinafter defined) will be used to pay for the costs incurred by the Developer in completing the Redevelopment Project.

6. Pursuant to provisions of the TIF Act, the City is authorized to enter into this Agreement and to pledge the Tax Increment Financing Revenues to the Developer as a means of assisting in financing of the Redevelopment Project.

### **AGREEMENT**

Now, therefore, in consideration of the premises and promises contained herein and other good and valuable consideration, the adequacy and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

## ARTICLE I.

### DEFINITIONS AND FINDINGS

**1.1. Definitions.** As used in this Agreement, the following words and terms shall have the following meanings:

“**Acts**” means, collectively, the Illinois Municipal Code and the Tax Increment Financing District Act, all as supplemented and amended.

“**Agreement**” means this Redevelopment Agreement, as the same may be from time to time modified, amended or supplemented in writing by the parties hereto.

“**Authorized City Representative**” means the Mayor of the City, or such other Person at the time designated to act on behalf of the City.

“**Business Day**” means a day which is not a Saturday, Sunday or any other day on which banking institutions in the City are required or authorized to close.

“**Certificate of Substantial Completion**” means a document substantially in the form of **Exhibit D** attached hereto, issued by the Developer to the City in accordance with this Agreement and evidencing the Developer’s substantial completion of the Redevelopment Project.

“**Certification of Reimbursable Redevelopment Project Costs**” means a document, substantially in the form of **Exhibit E** attached hereto, provided by the Developer to the City evidencing Reimbursable Redevelopment Project Costs incurred by the Developer.

“**City**” means the City of Belleville, Illinois, a municipal corporation and political subdivision of the State

“**Code**” means the Internal Revenue Code of 1986, as amended, and the applicable regulations, temporary regulations and proposed regulations thereunder.

“**Concept Site Plan**” means the site development plan attached hereto as **Exhibit C** and incorporated herein by this reference, which depicts the conceptual program for the Work and the Redevelopment Project, which is in accordance with the TIF Redevelopment Plan, and which shall be subject to change from time to time in accordance with the provisions of **Sections 3.6.2** hereof and provided that the site plan approved by the City pursuant to its zoning ordinance or any other approval process with the City, shall constitute the Concept Site Plan for the purposes of this Agreement, to the extent of any changes from the original Concept Site Plan attached hereto.

“**Construction Plans**” means plans, drawings, specifications and related documents, and construction schedules for the construction of the Work, together with all supplements, amendments or corrections, submitted by the Developer and approved by the City in accordance with this Agreement.

“**Corporate Authorities**” means the corporate authorities of the City.

**“Developer”** means SonomaCap RE Fund III, LLC, an Illinois limited liability company and its permitted successors and assigns.

**“Governmental Approvals”** means all plat approvals, re-zoning or other zoning changes, site plan approvals, conditional use permits, variances, building permits, or other subdivision, zoning, or similar approvals required for the implementation of the Redevelopment Project and the Work and consistent with the TIF Redevelopment Plan, the Concept Site Plan and this Agreement.

**“Mayor”** means the Mayor of the City or his/her duly authorized agent.

**“Person”** means any natural person, firm, partnership, association, corporation, limited liability company or public body.

**“Pledged Revenues”** means the Tax Increment Financing District Revenues pledged to the Developer pursuant to the terms of this Agreement.

**“Property”** means that portion of the real property within or around the Tax Increment Financing District III Area (including but not limited to all options held by third parties, fee interests, leasehold interests, tenant-in-common interests and such other like or similar interests) and existing improvements in or around the Tax Increment Financing District III Area, excluding public rights-of-way, as the Developer deems reasonably necessary for the implementation of the Redevelopment Project and the Work.

**“Redevelopment Project”** means the Redevelopment Project within Tax Increment Financing District III Area described on the Concept Site Plan, subject to change from time to time in accordance with the provisions hereof.

**“Redevelopment Project Costs”** means all reasonable or necessary costs actually incurred in performing the Work and any such costs incidental to the TIF Redevelopment Plan or the Redevelopment Project. Such costs include, but are not limited to, the following: (a) costs of all due diligence permitted hereunder, including studies, surveys, plans, reports, tests and specifications; (b) professional service costs, including, but not limited to, architectural, engineering, legal, marketing, financial, planning or special services; (c) costs of demolition of buildings and the clearing and grading of land; (d) costs of rehabilitation, reconstruction, or repair or remodeling of existing buildings and fixtures; (e) costs of construction of public works or improvements; (f) all or a portion of a taxing district’s capital costs resulting from the Redevelopment Project necessarily incurred or to be incurred in furtherance of the objectives of the TIF Redevelopment District Plan and the Redevelopment Project, to the extent the City by written agreement accepts and approves such costs; (g) payments in lieu of taxes; and (h) all other costs authorized for reimbursement pursuant to the Business District and the Acts.

**“Reimbursable Redevelopment Project Costs”** means those Redevelopment Project Costs that are reimbursable under **Article V** hereof, as described in **Exhibit F** attached hereto.

**“Related Party”** means any party related to the Developer by one of the relationships described in Section 267(b) of the United States Internal Revenue Code of 1986, as amended.

“**State**” means the State of Illinois.

“**Taxing District**” means any political subdivision of the State having the power to levy ad valorem property taxes within the TIF District Area.

“**TIF Project Costs**” means all reasonable or necessary costs actually incurred in performing the Developer Project and specifically defined under the term redevelopment costs” in the TIF Act and as further set forth on Exhibit F attached hereto.

“**TIF Revenues**” means all tax increment financing revenues generated within the Developer Project Area, reduced by the School District Incremental Property Taxes, which shall be deposited into the Special Allocation Fund in accordance with the Redevelopment Plan and TIF Act.

“**Work**” means all work necessary to prepare the Property and to construct the Redevelopment Project, including but not limited to: (1) construction of the public improvements, (2) storm sewers, stormwater control, detention facilities and other infrastructure improvements required by the U.S. Army Corps of Engineers, IEPA, IDNR, St. Clair County, the City or any other entity in order to obtain all necessary approvals and permits, (3) water mains, and (4) construction, reconstruction and/or relocation of other utilities, including the burying or relocation of electrical lines in accordance with the City’s municipal code; (5) demolition and removal of any existing buildings and improvements located on the Property and clearing and grading of the Property; (6) construction of retaining structures and wetland mitigation; (7) construction and/or rehabilitation of the commercial buildings and structures, and parking fields, and screening and site landscaping on the Property, as described in the Redevelopment Proposal and as modified from time to time in accordance with the Concept Site Plan; (8) environmental remediation with respect to the Property; and (9) all other Work described in the Redevelopment Proposal, as modified by the Concept Site Plan, or reasonably necessary to effectuate the intent of this Agreement.

**ARTICLE II.  
ACCEPTANCE OF PROPOSAL**

**2.1. Developer Designation.** The City hereby selects the Developer and grants to the Developer the exclusive right to perform the Work in accordance with the Concept Site Plan, this Agreement and all Governmental Approvals.

**2.2. Developer Advance of Funds.** Except as provided herein, the Developer agrees to advance all Redevelopment Project Costs as necessary to complete the Work, all subject to the provisions hereof.

**2.3 Reimbursable Redevelopment Project Costs.** All sums advanced by the Developer under this Article II shall constitute Reimbursable Redevelopment Project Costs to be reimbursed to the Developer from the proceeds of existing Tax Increment Financing III Special Tax Allocation Fund Revenues, to the extent permitted by law.

**ARTICLE III.**

**SCHEDULE; CONSTRUCTION OF REDEVELOPMENT PROJECT; CITY APPROVALS**

**3.1. Compliance with State and Local Laws.** The Developer's performance pursuant to this Agreement shall be in compliance with applicable state and local laws. The Construction Plans, construction practices and procedures with respect to the Work, and construction contracts shall be in conformity with all applicable state and local laws, ordinances and regulations.

**3.2. Project and Construction Schedule.** The Developer shall commence and complete each of its obligations under this Agreement with respect to the construction and completion of the Work, and the Redevelopment Project, including the Redevelopment Project, in accordance with the following schedule:

<u><b>Activity</b></u>	<u><b>Time for Performance</b></u>
Developer shall have acquired the property and filed all documents required for site plan approval	No later than 30 days following the date of this Agreement
Developer shall cause to have commenced construction of the Work	Within 120 days after the date of this Agreement
Developer shall have achieved or caused Substantial Completion and submitted a Certificate of Substantial Completion, with respect thereto, that is accepted by the City	Within nine (9) months after the date of this Agreement

**3.3. Developer to Construct the Redevelopment Project.** The Developer shall cause completion of all of the Work in accordance with the schedule set forth in **Section 3.2.**

**3.4. Governmental Approvals; Extensions of Time.** The City agrees to cooperate with the Developer and to process and timely consider all applications for the Governmental Approvals as received, including timely rezoning and subdivision of the Property, all in accordance with the applicable City ordinances and laws of the State of Illinois. Notwithstanding any provision of this Agreement to the contrary, the Developer may, upon reasonable cause shown by the Developer, request the Mayor or his designee to extend or waive times for performance. The Mayor or his designee may, but is not required to, consent to such extensions or waivers without further action by the Corporate Authorities.

**3.5. Concept Site Plan.**

**3.5.1. Approval of Concept Site Plan.** The Concept Site Plan is hereby approved.

**3.5.2. Changes.** During the progress of the Work, the Developer may make changes to the Concept Site Plan or any aspect thereof as site conditions or other issues of feasibility may dictate or as may be necessary or desirable in the sole determination of the Developer to enhance the economic viability of the Redevelopment Project as may be in furtherance of the general objectives of the Redevelopment Plan; provided, however, that the Developer may not make any Material Changes to the Concept Site Plan without the advance written consent of the City.

### **3.6. Construction Plans.**

**3.6.1. Standards.** The Construction Plans shall be prepared by a professional engineer or architect licensed to practice in the State of Illinois and the Construction Plans and all construction practices and procedures with respect to the Work shall be in conformity with all applicable state and local laws, ordinances and regulations. The Developer shall submit Construction Plans for approval by the City in sufficient time so as to allow for review of the plans in accordance with applicable City ordinances and procedures and in accordance with the schedule set forth in **Sections 3.2 and 3.4**. The plans shall be in sufficient completeness and detail to show that construction will be in conformance with the Concept Site Plan, the Redevelopment Plan and this Agreement.

**3.6.2. Changes.** During the progress of the Work the Developer may make such reasonable changes, including, without limitation, modification of the construction schedule, including dates of commencement and completion, modification of the areas in which the Work is to be performed, relocation, expansion or deletion of items, revisions to the areas and scope of Work, and any and all such other changes as site conditions or orderly development may dictate or as may be required to meet any reasonable requests of prospective tenants, residential or commercial developers, or purchasers of any real property located within the Redevelopment Project Area or as may be necessary or desirable, in the sole determination of the Developer, to enhance the economic viability of the Redevelopment Project or the Redevelopment Project and as may be in furtherance of the general objectives of the Redevelopment Plan; provided that (i) the Developer shall obtain all necessary approvals and comply with all laws, regulations and ordinances of the City and (ii) the Developer shall obtain the City's advance written consent to any Material Change.

**3.6.3. Certificate of Substantial Completion.** Promptly after the Developer achieves Substantial Completion in accordance with the provisions of this Agreement, the Developer will furnish to the City a Certificate of Substantial Completion so certifying. The City shall, within 30 days following delivery of the Certificate of Substantial Completion, carry out such inspections as are reasonable and necessary to verify to its reasonable satisfaction the accuracy of the certifications contained in the Certificate of Substantial Completion. The Certificate of Substantial Completion shall be deemed accepted by the City unless, prior to the end of such 30-day period after delivery to the City of the Certificate of Substantial Completion, the City furnishes the Developer with specific written objections describing such objections and the measures required to correct such objections in reasonable detail. Upon acceptance of the Certificate of Substantial Completion by the City or upon the lapse of 30 days after delivery thereof to the City without any written objections thereto, the Developer may record the Certificate of Substantial Completion with the St. Clair County Recorder, and the same shall constitute evidence of the satisfaction of the Developer's agreements and covenants to perform

all Work with respect to the Redevelopment Project. The Certificate of Substantial Completion shall be in substantially the form attached as **Exhibit D** hereto and incorporated by referenced herein.

## **ARTICLE IV.**

### **REIMBURSEMENT OF DEVELOPER COSTS**

**4.1. City's Obligation to Reimburse Developer.** The City agrees to reimburse the Developer for the verified Reimbursable Redevelopment Project Costs of the Redevelopment Project in the amounts and as set forth on **Exhibit F**, through the direct payment to the Developer. The amount reimbursed to the Developer from the TIF Revenues, shall not exceed the sum of Two Hundred Thirty-Five Thousand Dollars (\$235,000.00) in the aggregate. The City hereby pledges the Pledged Revenues to the reimbursement of costs incurred by the Developer.

**4.2 City's Obligation to Provide TIF Assistance.** The City agrees to provide the Developer with a TIF reimbursements prior to the generation of any TIF Revenues. These reimbursements are to be paid in the following manner:

**4.2.1** The City will reimburse the Developer an amount equal to \$65,000 within 30 days after approval of this Agreement or the occurrence of the Developer acquiring the subject properties, whichever is later.

**4.2.2** The City will reimburse the Developer an amount not to exceed \$170,000 within 60 days after building(s) have been demolished, the removal of all debris, and properties have been sufficiently cleaned and prepared for future redevelopment activities, but not earlier than May 1, 2018.

**4.3 Reimbursements Limited to Reimbursable Redevelopment Project Costs; Developer's Right to Substitute.** Nothing in this Agreement shall obligate the City to reimburse the Developer for any cost that is not incurred pursuant to the Acts or that does not qualify as reimbursable from the Pledged Revenues pursuant to the Acts. The Developer shall provide itemized invoices, receipts or other information, if any, requested by the City to confirm that any such cost is so incurred and does so qualify. Each such request shall be accompanied by a certification by the Developer that such cost is eligible for reimbursement under the Acts. The parties agree that each of the categories of costs set forth in **Exhibit F** attached hereto constitute Reimbursable Redevelopment Project Costs which are eligible for reimbursement in accordance with the Acts and this Agreement. The Developer shall not be limited in reimbursement to the amounts shown for each such category but shall be entitled to reimbursement for Redevelopment Project Costs from any of the categories set forth on **Exhibit F**, without regard to the maximum amounts set forth for each category. If the City determines that any cost identified as a Reimbursable Redevelopment Project Cost is not reimbursable under the Acts, the City shall so notify the Developer in writing within the 30-days following receipt of a Certification of Reimbursable Redevelopment Project Costs, identifying the ineligible cost and the basis for determining the cost to be ineligible, whereupon the Developer shall have the right to identify

and substitute other Redevelopment Project Costs as Reimbursable Redevelopment Project Costs with a supplemental application for payment.

## **ARTICLE V.**

### **GENERAL PROVISIONS**

**5.1. Developer's Right of Termination.** At any time prior to any distribution of moneys from the City to the Developer, the Developer may, by giving written notice to the City, terminate this Agreement and the Developer's obligations hereunder if the Developer determines, in its sole discretion, that the Redevelopment Project is no longer economically feasible.

**5.2. City's Right of Termination.** The City may terminate this Agreement, at any time prior to the delivery of the Certificate of Substantial Completion, if:

**5.2.1.** the Developer materially defaults in or breaches any substantial provision of this Agreement and fails to cure such default or breach pursuant to the provisions hereof; or

**5.2.2.** the Developer fails to complete the activities listed in **Section 3.2.** in strict accordance with the schedule set forth in said section, subject to extension as provided for in **Section 7.5.**

**5.3. Successors and Assigns.**

**5.3.1.** This Agreement shall be binding on and shall inure to the benefit of the parties named herein and their respective heirs, administrators, executors, personal representatives, successors and assigns.

**5.3.2.** Without limiting the generality of the foregoing, all or any part of the Property or any interest therein may be sold, transferred, encumbered, leased, or otherwise disposed of at any time, and the rights of the Developer named herein or any successors in interest under this Agreement or any part hereof may be assigned at any time before, during or after redevelopment of the Redevelopment Project, whereupon the party disposing of its interest in the Property or assigning its interest under this Agreement shall be thereafter released from further obligation under this Agreement (although any such Property so disposed of or to which such interest pertains shall remain subject to the terms and conditions of this Agreement), provided that until the City has accepted the Certificate of Substantial Completion with respect to the Redevelopment Project, the fee title to the Property may not be sold, transferred or otherwise disposed of and the rights, duties and obligations of the Developer under this Agreement may not be assigned in whole or in part without the prior written approval of the City. Notwithstanding anything herein to the contrary, the City hereby approves, and no prior consent shall be required in connection with, (1) the right of the Developer to encumber or collaterally assign its interest in the Property or any portion thereof to secure loans, advances or extensions of credit to finance or from time to time refinance all or any part of the Redevelopment Project Costs, or the right of the holder of any such encumbrance or transferee of any such collateral assignment (or trustee or agent on its behalf) to transfer such interest by foreclosure or transfer in lieu of foreclosure under such encumbrance or collateral assignment; (2) the right of the Developer to assign or transfer all

or any part of the Developer's rights, duties and obligations under this Agreement or with respect to the Redevelopment Project to a Related Party; or (3) the right of the Developer to lease of the Property in the ordinary course of the development of the Redevelopment Project; provided that in each such event (i) the Developer named herein or one of the entities described in clause (2) above shall remain liable hereunder for the Substantial Completion of the Redevelopment Project, and shall be released from such liability hereunder only upon Substantial Completion of the Redevelopment Project and (ii) the Developer provides to the City not less than 15 days' advance written notice of any proposed assignment or transfer pursuant to clause (2) above.

#### **5.4. Remedies.**

**5.4.1.** In the event of any default in or breach of any term or conditions of this Agreement by either party, or any successor, the defaulting or breaching party (or successor) shall, upon written notice from the other party specifying such default or breach, proceed immediately to cure or remedy such default or breach, and, shall, in any event, within 30 days after receipt of notice, commence to cure or remedy such default. If such cure or remedy is not taken or not diligently pursued, or the default or breach is not cured or remedied within a reasonable time, the aggrieved party may institute such proceedings as may be necessary or desirable in its opinion to cure and remedy such default or breach, including, but not limited to proceedings to compel specific performance by the defaulting or breaching party.

**5.4.2.** Notwithstanding any provision herein to the contrary, the City's sole remedy for the Developer's failure to construct the Work within the times set forth in **Section 3.2.** shall be the termination of this Agreement without further recourse against the Developer.

#### **5.5. Extensions of Time for Performance.**

**5.5.1.** Neither the City nor the Developer nor any successor in interest shall be considered in breach or default of their respective obligations under this Agreement, and times for performance of obligations hereunder shall be extended in the event of any delay caused by force majeure, including, without limitation, damage or destruction by fire or casualty; strike; lockout; civil disorder; acts of terrorism; war; restrictive government regulations; lack of issuance of any permits and/or legal authorization by the governmental entity necessary for the Developer to proceed with construction of the Work or any portion thereof, and including rezoning and approval of the Concept Site Plan (but only if the Developer files all necessary documentation relating thereto no later than seven business days following execution of the Redevelopment Agreement); shortage or delay in shipment of material or fuel; acts of God; unusually adverse weather or wet soil conditions; or other causes beyond the parties' reasonable control, including but not limited to, any litigation, court order or judgment resulting from any litigation affecting the validity of the Redevelopment Project, or this Agreement.

**5.5.2.** No event under **Section 5.5.1** above shall be deemed to exist as to any matter initiated or unreasonably sustained by the Developer, unless (i) the Developer notifies the City in writing within 30 days of the date the Developer becomes aware of the delay that will be caused by the delay causing event, or (ii) the Developer demonstrates to the City's reasonable satisfaction that the Developer has diligently pursued its obligations under this Agreement but, for reasons beyond the control of the Developer, has been unable to complete such obligations within the time specified in this Agreement.

**5.6. Notices.** Any notice, demand or other communication required by this Agreement to be given by either party hereto to the other shall be in writing and shall be sufficiently given or delivered if dispatched by certified United States first class mail, postage prepaid, or delivered personally,

(i) In the case of the Developer, to:

SonomaCap RE Fund III, LLC  
7519 Claymont Court, Apt. 1  
Belleville, IL 62223  
Attention: R. Adam Hill

With a copy to:

Westminster Legal Group  
4240 Duncan Ave., Suite 200  
St. Louis, MO 63110  
Attention: John M. Hongs

(ii) In the case of the City, to:

City of Belleville  
101 South Illinois St.  
Belleville, Illinois 62220  
Attention: Mayor Mark Eckert

With a copy to:

Becker, Hoerner, Thompson & Ysursa, P.C.  
5111 West Main Street  
Belleville, IL 62226  
Attn: Garret Hoerner

or to such other address with respect to either party as that party may, from time to time, designate in writing and forward to the other, as provided in this paragraph.

**5.7. Conflict of Interest.** (a) No member of the Corporate Authorities, the joint review board, or any branch of the City's government who has any power of review or approval of any of the Developer's undertakings, or of the City's contracting for goods or services for the Redevelopment Project, shall participate in any decisions relating thereto which affect that member's personal interests or the interests of any corporation or partnership in which that member is directly or indirectly interested. Any person having such interest shall immediately, upon knowledge of such possible conflict, disclose, in writing, to the Corporate Authorities the nature of such interest and seek a determination by the Corporate Authorities with respect to such interest and, in the meantime, shall not participate in any actions or discussions relating to the activities herein proscribed.

(b) If any member of the Corporate Authority or an employee or consultant of the City involved in the planning and preparation of the Redevelopment Project Area owns or controls an interest, direct or indirect, in any property included in the Redevelopment Project Area, he or she shall disclose the same in writing to the City Clerk, and shall also disclose the dates and terms and conditions of any disposition of any such interest, which disclosures shall be acknowledged by the Corporate Authorities and entered upon the minute books of the Corporate Authorities. If an individual holds such an interest, then that individual shall refrain from any further official involvement in regard to such Redevelopment Project, from voting on any matter pertaining to the Redevelopment Project or communicating with other members of the Corporate Authorities, commissions or employees concerning any matter pertaining to said Redevelopment Project. Furthermore, no such member of the Corporate Authorities or employee shall acquire any interest direct, or indirect, in any property in the Redevelopment Project Area. For the purposes of this section, a month-to-month, leasehold interest in a single parcel of property by a member of the Corporate Authority shall not be deemed to constitute an interest in any property included in the Redevelopment Project Area, but such member must disclose the interest to the City Clerk.

**5.8. Insurance; Damage or Destruction of Redevelopment Project.**

**5.8.1.** The Developer will cause there to be insurance as hereinafter set forth at all times during the process of constructing the Work and, from time to time at the request of the City, furnish the City with proof of payment of premiums on:

(i) Builder's risk insurance, written on the so called "Builder's Risk - Completed Value Basis," in an amount equal to one hundred percent (100%) of the insurable value of the Work at the date of completion, and with coverage available in non-reporting form on the so called "all risk" form of policy. The interest of the City shall be protected in accordance with a clause in form and content satisfactory to the City;

(ii) Comprehensive general liability insurance (including operations, operations of subcontractors, completed operations and contractual liability insurance) together with an owner's contractor's policy, with limits against bodily injury and property damage of not less than \$2,000,000.00 for each occurrence (to accomplish the above required limits, an umbrella excess liability policy may be used); and

(iii) Workers' Compensation insurance, with statutorily required coverage.

**5.8.2.** The policies of insurance required pursuant to clauses (i) and (ii) above shall be in form and content satisfactory to the City and shall be placed with financially sound and reputable insurers licensed to transact business in the State of Illinois with a general policy holder's rating of not less than A- and a financial rating of A- as rated in the most current available "Best's" insurance reports. The policy of insurance delivered pursuant to clause (i) above shall contain an agreement of the insurer to give not less than thirty (30) days advance written notice to the City in the event of cancellation of such policy or change affecting the coverage thereunder. The policies of insurance described in clauses (i) and (ii) above shall name the City as an additional insured. The Developer shall deliver to the City evidence of all insurance to be maintained hereunder.

**5.9. Inspection.** The City may conduct such periodic inspections of the Work as may be generally provided in the building code of the City. In addition, the Developer shall allow other authorized representatives of the City access to the Work site from time to time upon reasonable advance notice prior to the completion of the Work for reasonable inspection thereof. The Developer shall also allow the City and its employees, agents and representatives to inspect, upon request, all architectural, engineering, demolition, construction and other contracts and documents pertaining to the construction of the Work as the City determines is reasonable and necessary to verify the Developer's compliance with the terms of this Agreement.

**5.10. Choice of Law.** This Agreement shall be taken and deemed to have been fully executed, made by the parties in, and governed by the laws of State of Illinois for all purposes and intents.

**5.11. Entire Agreement; Amendment.** The parties agree that this Agreement constitutes the entire agreement between the parties and that no other agreements or representations other than those contained in this Agreement have been made by the parties. This Agreement shall be amended only in writing and effective when signed by the authorized agents of the parties.

**5.12. Counterparts.** This Agreement is executed in multiple counterparts, each of which shall constitute one and the same instrument.

**5.13. Severability.** In the event any term or provision of this Agreement is held to be unenforceable by a court of competent jurisdiction, the remainder shall continue in full force and effect, to the extent the remainder can be given effect without the invalid provision.

**5.14. Representatives Not Personally Liable.** No elected or appointed official, agent, employee or representative of the City shall be personally liable to the Developer in the event of any default or breach by any party under this Agreement, or for any amount which may become due to any party or on any obligations under the terms of this Agreement.

**5.15. Actions Contesting the Validity and Enforceability of the Redevelopment Plan.** During such time as the City is obligated to reimburse the Developer for Reimbursable Redevelopment Project Costs, in the event a third party brings an action against the City or the City's officials, agents, employees or representatives contesting the validity or legality of the TIF

Redevelopment Project Area, the Redevelopment Plan, or the ordinance approving this Agreement, the Developer may, at its option, assume the defense of such claim or action with counsel of the Developer's choosing, but the Developer may not settle or compromise any claim or action for which the Developer has assumed the defense without the prior written approval of the City. If the City does not approve a settlement or compromise which the Developer would agree to, the Developer shall not be responsible for any costs or expenses incurred thereafter in the defense of such claim or action. The parties expressly agree that so long as no conflicts of interest exist between them with regard to the handling of such litigation, the same attorney or attorneys may simultaneously represent the City and the Developer in any such proceeding; provided, the Developer and its counsel shall consult with the City throughout the course of any such action and the Developer shall pay all reasonable and necessary costs incurred by the City in connection with such action. All cost of any such defense, whether incurred by the City or the Developer, shall be deemed to be Reimbursable Redevelopment Project Costs.

**5.16. Release and Indemnification.** The indemnifications and covenants contained in this **Section 5.16** shall survive termination or expiration of this Agreement.

**5.16.1.** Notwithstanding any other provision of this Agreement to the contrary, the City and its governing body members, officers, agents, servants, employees and independent contractors shall not (except to the extent set forth in the last sentence of this subsection) be liable to the Developer for damages or otherwise in the event that all or any part of the Tax Increment Financing Act, or any ordinance adopted in connection with either the Tax Increment Financing Act, this Agreement or the Redevelopment Plan, is declared invalid or unconstitutional in whole or in part by the final (as to which all rights of appeal have expired or have been exhausted) judgment of any court of competent jurisdiction, and by reason thereof either the City is prevented from performing any of the covenants and agreements herein or the Developer is prevented from enjoying the rights and privileges hereof. The foregoing provision shall not preclude any action for professional negligence that the Developer may otherwise have the right to maintain against any independent contractor of the City.

**5.16.2.** The Developer releases from and covenants and agrees that the City and its governing body members, officers, agents, servants, employees and independent contractors shall not be liable for, and agrees to indemnify and hold harmless the City, its governing body members, officers, agents, servants, employees and independent contractors against any loss or damage to property or any injury to or death of any person occurring at or about or resulting from any defect in the construction of the Work including any and all claims arising from the acquisition of the Property, including, but not limited to, location of hazardous wastes, hazardous materials or other environmental contaminants on the Property, including all costs of defense, including attorney's fees, except for those matters arising out of the gross negligence or willful misconduct of the City and its governing body members, officers, agents, servants, employees and independent contractors.

**5.16.3.** The City and its governing body members, officers, agents, servants, employees and independent contractors shall not be liable for any damage or injury to the persons or property of the Developer or its officers, agents, servants or employees or any other person who may be about the Property or the Work except for matters arising out of the gross negligence or willful misconduct of the City and its governing body members, officers, agents, servants, employees and independent contractors.

**5.16.4.** All covenants, stipulations, promises, agreements and obligations of the City contained herein shall be deemed to be the covenants, stipulations, promises, agreements and obligations of the City and not of any of its governing body members, officers, agents, servants or employees in their individual capacities.

**5.16.5.** No official, employee or representative of the City shall be personally liable to the Developer (1) in the event of a default or breach by any party under this Agreement or (2) for any amount which may become due to any party under the terms of this Agreement.

**5.16.6.** The Developer releases from and covenants and agrees that the City, its governing body members, officers, employees, agents and independent contractors shall not be liable for, and agrees to indemnify and hold the City, its governing body members, officers, employees, agents and independent contractors, harmless from and against any and all suits, interest, claims and cost of attorney's fees incurred by any of them, resulting from, arising out of, or in any way connected with: (1) any condemnation proceeding initiated by the City at the Developer's request pursuant to this Agreement; (2) the construction of the Work, (3) the negligence or willful misconduct of the Developer, its employees, agents or independent contractors in connection with the design management, development, redevelopment and construction of the Work, (4) the compliance by the Developer with all applicable state, federal and local environmental laws, regulations and ordinances as applicable to the Property, excluding the City property, to the extent such condition existed prior to the acquisition thereof by the Developer; except that the foregoing release and indemnification shall not apply in the case of such liability arising directly out of the gross negligence or willful misconduct of the City or its authorized governing body members, officers, employees, agents and independent contractors or which arises out of matters undertaken by the City following termination of this Agreement as to any particular Redevelopment Project or portion thereof.

**5.17. Survival.** Notwithstanding the expiration or termination or breach of this Agreement by either party, the agreements contained in **Sections 5.16**, of this Agreement shall, except as otherwise expressly set forth herein, survive such expiration, termination or breach of this Agreement by either party.

**5.18 Term of Agreement.** This Agreement, and all of the rights and obligations of the parties hereunder, shall terminate and shall become null and void upon the earlier of (a) the completion of the Redevelopment Project and the payment of all Reimbursable Redevelopment Project Costs contemplated in this Agreement, or (b) the delivery of a written notice by the Developer or the City (and recordation of a copy of such notice with the St. Clair County Recorder) that this Agreement has been terminated pursuant to **Section 5.1** or **5.2** hereof.

## ARTICLE VI.

### REPRESENTATIONS OF THE PARTIES

**6.1. Representations of the City.** The City hereby represents and warrants that it has full constitutional and lawful right, power and authority, under current applicable law, to execute and deliver and perform the terms and obligations of this Agreement, and all of the foregoing have been or will be, upon adoption of ordinances, duly and validly authorized and approved by all necessary City proceedings, findings and actions. Accordingly, this Agreement

constitutes the legal, valid and binding obligation of the City, enforceable in accordance with its terms.

**6.2. Representations of the Developer.** The Developer hereby represents and warrants that:

**6.2.1.** It has full power to execute and deliver and perform the terms and obligations of this Agreement and all of the foregoing has been duly and validly authorized by all necessary corporate proceedings.

**6.2.2.** This Agreement constitutes the legal, valid and binding obligation of the Developer, enforceable in accordance with its terms.

[Remainder of Page Intentionally Left Blank]

**IN WITNESS WHEREOF**, the City and the Developer have caused this Agreement to be executed in their respective names and the City has caused its seal to be affixed thereto, and attested as to the date first above written.

**CITY OF BELLEVILLE, ILLINOIS**

(SEAL)

Attest:

By: \_\_\_\_\_  
Mayor

By: \_\_\_\_\_  
City Clerk

**SONOMACAP RE FUND III, LLC**

By: \_\_\_\_\_  
Printed Name: R. Adam Hill  
Title: Manager

STATE OF ILLINOIS        )  
                                          )SS  
COUNTY OF ST. CLAIR    )

On this \_\_\_\_ day of \_\_\_\_\_, 2017, before me appeared \_\_\_\_\_, to me personally known, who, being by me duly sworn, did say that he/she is the Mayor of the City of Belleville, Illinois, an incorporated municipality of the State of Illinois, and that the seal affixed to the foregoing instrument is the seal of said City, and said instrument was signed and sealed in behalf of said City by authority of its Corporate Authorities, and Dallas Cook, the City Clerk acknowledged said instrument to be the free act and deed of said City.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.

Notary Public

(SEAL)

My Commission Expires:

STATE OF ILLINOIS        )  
                                          )SS  
COUNTY OF ST. CLAIR    )

On this \_\_\_\_ day of \_\_\_\_\_, 2017, before me appeared \_\_\_\_\_, to me personally known, who, being by me duly sworn, did say that he is the Manager of SonomaCap RE Fund III, LLC, an Illinois limited liability company, and that he is authorized to sign the instrument on behalf of said company, and acknowledged to me that he executed the within instrument as said company's free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.

Notary Public

(SEAL)

My Commission Expires:

## **EXHIBIT A**

### **LEGAL DESCRIPTION OF THE REDEVELOPMENT PROJECT AREA**

**Parcel 1: Lots 30 and 31 of "Woodside, being a subdivision of part of Lot 5, Section 1, T1N, R9W, part of Lot 5, Section 2, T1N, R9W, part of Lot 2, Section 35, T2N, R9W, part of Lot 6, Section 36, T2N, R9W of the 3rd P.M., St. Clair County, Illinois"; reference being had to the plat thereof recorded in the Recorder's Office of St. Clair County, Illinois, in Book of Plats "U" on page 9.**

**PPN: 07-01.0-102-025 and 07-01.0-102-026  
c/k/a: 8512 W. Main St., Belleville, Il 62223**

**Parcel 3: Lots No. 1, 2, 3, 4, 5, 6, 7, 8, 9 and 10 in Block 2 of "Ogledale, being a Resubdivision of Lots 1 to 18 of First Addition to Ogle Heights and a Subdivision of part of Lot 12A Section 1 and part of Lot 1, Section 12, T1N, R9W 3rd P.M."; reference being had to the plat thereof recorded in the Recorder's Office of St. Clair County, Illinois, in Book of Plats "W" on page 10.**

**Except any interest in the coal, oil, gas, and other minerals underlying the land which have been heretofore conveyed or reserved in prior conveyances, and all rights and easements in favor of the estate of said coal, oil, gas, and other minerals, if any.**

**PPN: 07-01.0-417-005 c/k/a: 7009 W. Main St., Belleville, IL 62223**

Prior Deed Reference: Parcel 1: Book 4162, page 402; and Parcel 3: Book 4218, page 1666

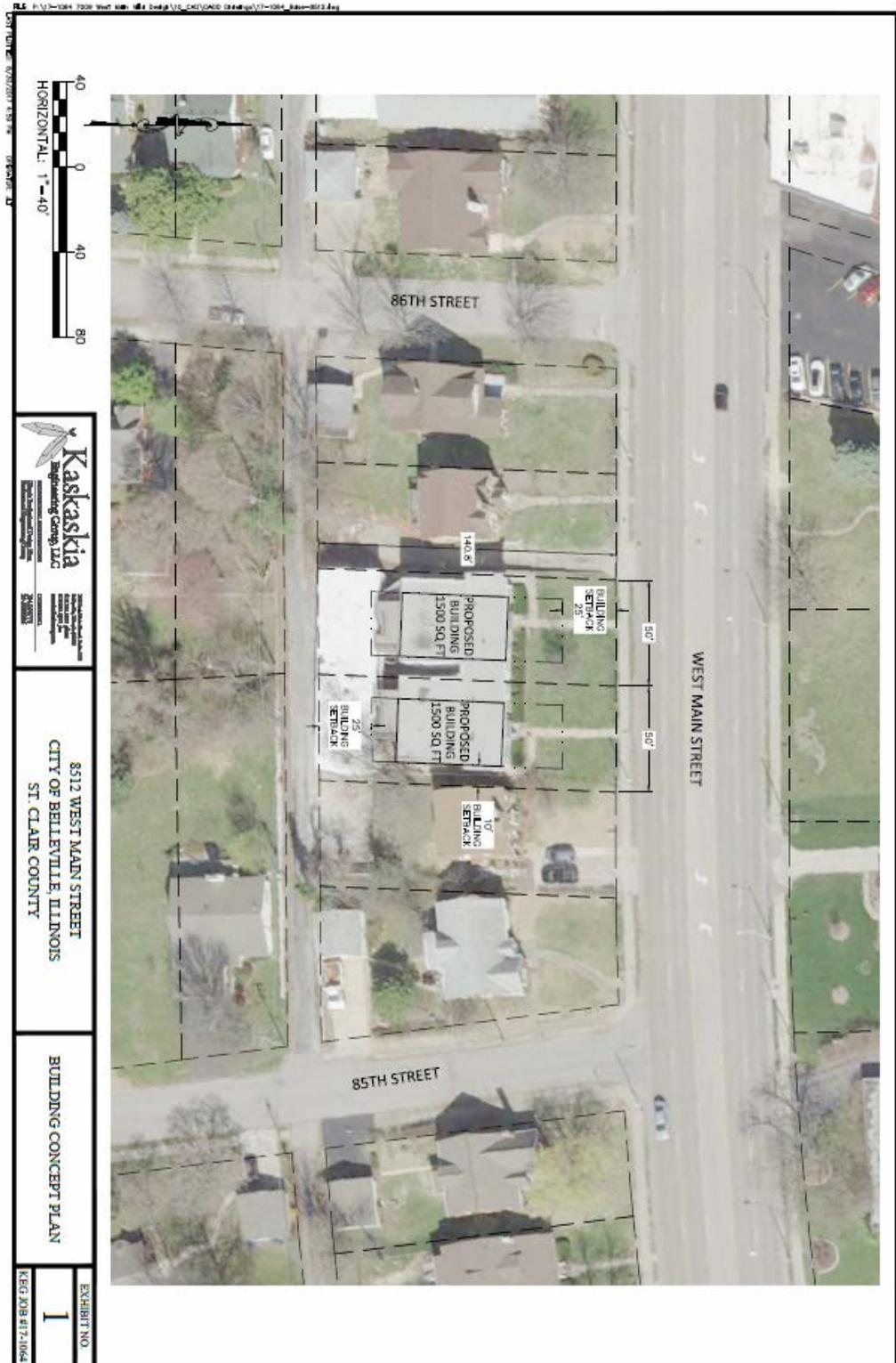
**EXHIBIT B**

**Project Budget**  
***8512 & 7009 West Main Street***

	<b><u>TIF III</u></b>	<b><u>Global</u></b>
Land Assembly/Site Preparation	\$ 75,000	\$ 132,500
Public Works/Infrastructure (i.e. surface parking, internal roadways, parking lighting)	\$ 5,000	\$ 74,500
Demolition	\$150,000	\$ 200,000
New Construction	\$330,000	\$2,165,000
Planning, Legal & Professional Services	\$ 5,000	\$ 55,000
Administration	\$ 0	\$ 0
<u>Contingency</u>	<u>\$ 0</u>	<u>\$ 0</u>
<b>Totals</b>	<b>\$565,000</b>	<b>\$2,627,000</b>

# EXHIBIT C

## CONCEPT SITE PLAN



**EXHIBIT D**  
**[FORM OF]**  
**CERTIFICATE OF SUBSTANTIAL COMPLETION**  
**OF**

---

The undersigned, \_\_\_\_\_ (the “Developer”), pursuant to that certain Redevelopment Agreement dated as of \_\_\_\_\_, between the City of Belleville, Illinois (the “City”) and the Developer (the “Agreement”), hereby certifies to the City as follows:

1. That as of \_\_\_\_\_, \_\_\_\_\_, the Developer has achieved Substantial Completion of the Redevelopment Project in accordance with the Agreement.
2. The Work has been performed in a workmanlike manner and in accordance with the Construction Plans (as those terms are defined in the Agreement).
3. This Certificate of Substantial Completion is being issued by the Developer to the City in accordance with the Agreement to evidence the Developer’s satisfaction of all obligations and covenants with respect to the applicable portions of the Work.
4. The City’s acceptance (below) or the City’s failure to object in writing to this Certificate within 30 days of the date of delivery of this Certificate to the City (which written objection, if any, must be delivered to the Developer prior to the end of such 30-day period), and the recordation of this Certificate with the St. Clair County Recorder, shall evidence the satisfaction of the Developer’s agreements and covenants to perform the applicable portions of the Work.

This Certificate shall be recorded in the office of the St. Clair County Recorder. This Certificate is given without prejudice to any rights against third parties which exist as of the date hereof or which may subsequently come into being.

Terms not otherwise defined herein shall have the meaning ascribed to such terms in the Agreement.

IN WITNESS WHEREOF, the undersigned has hereunto set his/her hand this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
By: \_\_\_\_\_,  
Its managing member

**ACCEPTED:**  
**CITY OF BELLEVILLE, ILLINOIS**

By:

(Insert Notary Form(s) and Legal Description)

**EXHIBIT E**  
**FORM OF**  
**CERTIFICATION OF REIMBURSABLE REDEVELOPMENT PROJECT COSTS**

Certification of Reimbursable Redevelopment Project Costs

TO: City of Belleville, Illinois

Attention:

Re: Redevelopment Agreement dated as of [DOCUMENT DATE] (the “Agreement”), between the City of Belleville, Illinois (the “City”) and SonomaCap RE Fund II, LLC (the “Developer”),

Terms not otherwise defined herein shall have the meaning ascribed to such terms in the Agreement. In connection with said Agreement, the undersigned hereby states and certifies that:

1. Each item listed on **Schedule 1** hereto is (a) eligible for reimbursement under the Business District Act, and (b) a Reimbursable Redevelopment Project Cost under the Agreement.
2. Each item listed on **Schedule 1** was incurred in connection with the construction of the Redevelopment Project and has been paid by the Developer.
3. Each item listed on **Schedule 1** has not previously been paid or reimbursed from money derived from the Special Allocation Fund or any money derived from any project fund established pursuant to the Approving Ordinance, and no part thereof has been included in any other certificate previously filed with the City.
4. There has not been filed with or served upon the Developer any notice of any lien, right of lien or attachment upon or claim affecting the right of any person, firm or corporation to receive payment of the amounts stated in this request, except to the extent any such lien is being contested in good faith.
5. All necessary permits and approvals required for the portion of the Work for which this certificate relates have been issued and are in full force and effect.
6. All Work for which payment or reimbursement is requested has been performed in a good and workmanlike manner and in accordance with the Concept Site Plan and the Agreement.
7. If any cost item to be reimbursed under this Certificate is deemed not to constitute a “Redevelopment Project cost” within the meaning of the Business District Act and the Agreement, the Developer shall have the right to substitute other eligible Reimbursable Redevelopment Project Costs for payment hereunder.
8. The Developer is not in default or breach of any term or condition of the Agreement.

Dated this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_

By: \_\_\_\_\_,  
Its managing member

Approved for Payment this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_:

**CITY OF BELLEVILLE, ILLINOIS**

By: \_\_\_\_\_  
Title: \_\_\_\_\_

## EXHIBIT F

### REIMBURSEABLE REDEVELOPMENT PROJECT COSTS

Property assembly costs, including but not limited to demolition of buildings, site preparation, site improvements and clearing and grading	\$100,000
Demolition, Rehabilitation and New Construction	\$120,000
Administration	\$5,000
<u>Planning, Legal &amp; Professional Services</u>	<u>\$10,000</u>
Total	\$235,000

CITY OF BELLEVILLE, ILLINOIS

Traffic Committee Request Form

Date: 9-12-17

Name: WALTER L. HOOD JR

Address: # 5 EMERY CT. BELLEVILLE, IL 62226

Phone Number: 618 234-3466

Email Address: GOFLY929@YAHOO.COM

Name of Alderman Contacted: Jonnie Anthony Ward (1-8): 4

Reason for Request (circle one or more):  Safety Related  Speed Related  Signage  Other

Problem Location/Address: 10 S. 38<sup>th</sup> ST.

Problem (include, illustrations, petitions and/or photos, attach additional sheets if needed):

Requested Action: Put no parking signs from THE CORNER OF SOUTH 38<sup>th</sup> STREET, (EAST SIDE) TO THE DRIVEWAY OF 10 S. 38<sup>th</sup> STREET.

**For Official Use Only**

Date Received: 9/12/17

Comments: \_\_\_\_\_

Sent to Traffic Committee: 9/12/17

Return completed forms to your Alderman or Traffic Committee Chairman, 101 S. Illinois St., Belleville, IL 62220

# City of Belleville Traffic Committee Petition

This petition is to be circulated to all neighboring residents that will or may be affected by the requested item to determine the validity of the request and to show support or opposition to the request be put forth before the Traffic Committee.

This petition is hereby circulated regarding the proposed item hereby described as:

Parking, THE STREET IS VERY NARROW, TO MAKE TRAFFIC  
FLOW SMOOTHLY WE NEED TO RESTRICT PARKING ON THE EAST  
SIDE OF S. 38<sup>th</sup> ST. TO THE DRIVEWAY OF 10. S. 38 ST. APPROX 150 FT  
FROM THE CORNER.

SIGNATURE	PRINT NAME	ADDRESS	YES	NO
	Stephen H. Yancy	1135 38th St Belleville, IL	✓	
	Billie Snively	125 S. 38 <sup>th</sup> Belleville	✓	
	Julia Hammel	108 S. 38 <sup>th</sup> Belleville	✓	
	JOHN S. BECKER	4 EMERY CT BEL	✓	
	E. BIRD	3 EMERY CT BEL	✓	
	J. Barber	1 Emery ct	✓	
	E. Baber	1 Emery ct	✓	
	KERRY DEFFENBAUGH	9 CHARLOTTE CT	✓	
	Michelle Swierczek	3701 Michelle Dr.	✓	
	Anthony Swierczek	3701 Michelle Dr.	✓	
	Marsha Dahm	8 Emery Ct.	✓	
	Todd Darnell	3700 Michelle Dr.	✓	

I hereby affirm that this petition was circulated to all residents and that this is a true representation of the will of those individuals that would be directly impacted by the requested change. I will also attend the Traffic Committee meeting that will discuss and decide in favor or against the proposed change.

Circulator Signature: Date: 9-9-17  
 Print Name: Billie Snively Address: 125 S. 38<sup>th</sup> Belleville  
 Page: 1 of 2

----- Staff/Committee Use -----  
 Petition Received By: Collette Parsons Date: 9/12/17

# City of Belleville Traffic Committee Petition

This petition is to be circulated to all neighboring residents that will or may be affected by the requested item to determine the validity of the request and to show support or opposition to the request be put forth before the Traffic Committee.

This petition is hereby circulated regarding the proposed item hereby described as:

THE STREET IS VERY NARROW TO MAKE TRAFFIC FLOW SMOOTHLY  
WE NEED TO RESTRICT PARKING ON THE EAST SIDE OF S 38<sup>TH</sup> ST  
TO THE DRIVE WAY OF 10 S 38 ST. APPROX 150 FT FROM THE CORNER

SIGNATURE	PRINT NAME	ADDRESS	YES	NO
<i>Walter L Hood Jr</i>	WALTER L HOOD JR	#5 EMERY CT	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Kimberly Hood</i>	Kimberly Hood	5 Emery Court	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Mike Thielmann</i>	MIKE THIELMANN	10 S 38 ST	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<i>J. J. Sy</i>	KERIN S SPEER	118 S 38 ST	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I hereby affirm that this petition was circulated to all residents and that this is a true representation of the will of those individuals that would be directly impacted by the requested change. I will also attend the Traffic Committee meeting that will discuss and decide in favor or against the proposed change.

Circulator Signature: *Walter L Hood Jr* Date: 9-9-17

Print Name: WALTER L HOOD JR Address: #5 EMERY CT BELLEVILLE

Page: 2 of 2

----- Staff/Committee Use -----  
 Petition Received By: *Collette Parsons* Date: 9/12/17

08-17.0-117-080  
3801 W MAIN ST  
ADELE S SCHMIDT

08-17.0-114-027  
3800 W MAIN ST  
SUM TERTIUS LLC

08-17.0-114-021  
17 S 38TH ST  
DONALD & LAVONNA L BERTELSMANN

S 38TH ST

WEST MAIN  
EDGE OF PAVEMENT

W MAIN ST

N 38TH ST

186.0'

SIGN

SIGN

08-17.0-115-023  
3726 W MAIN ST  
METRO INVESTMENTS LLC

08-17.0-115-038  
20 S 38TH ST  
JASON DAVINROY

08-17.0-115-012  
10 S 38TH ST  
MICHAEL THIELEMANN

08-17.0-115-024  
3724 W MAIN ST  
LOREN W FLEMING

## **PROPOSAL FOR MOVING POLICE FENCE ALONG WEST SIDE OF RICHLAND CREEK**

PSC Industrial Outsourcing, LP (PSC) is currently moving into the 5<sup>th</sup> excavation area for the remediation project at Washington and 6th streets in Belleville. While excavating this area the current tent structure configuration will change such that the current tent will be move so that it will straddle Richland Creek. In order to facilitate remediation work during this tent location support equipment is needed to be placed on the west side of the tent.

Currently there is a black metal picket fence separating the Belleville Police Station property and the remediation site on the West side of Richland Creek. In between this black fence and the creek lays the bike / walking path. The black fence is about 30-35' from the edge of the creek. (see attached sketch)

The current location of the black fence does not allow sufficient space between this fence and the tent structure for the necessary support equipment. As a result, PSC is requesting that we be allowed to temporarily remove a section of the black fence and erect in its place a temporary chain link fence parallel to the curb of the Police Station parking area drive about twenty feet to the west.

The section of black fence to remove is approximately 275 feet long and would extend from the north end ninety degree bend close to W. Main street, to a location in the vicinity of the first large power pole to the south.

The temporary chain link replacement fence would generally follow the path of the dashed line on the attached map and would be offset from the curb of the parking lot drive by about five feet or so.

The temporary fence would be in place for approximately seven months which is approximately how long the work for the tent location would last.

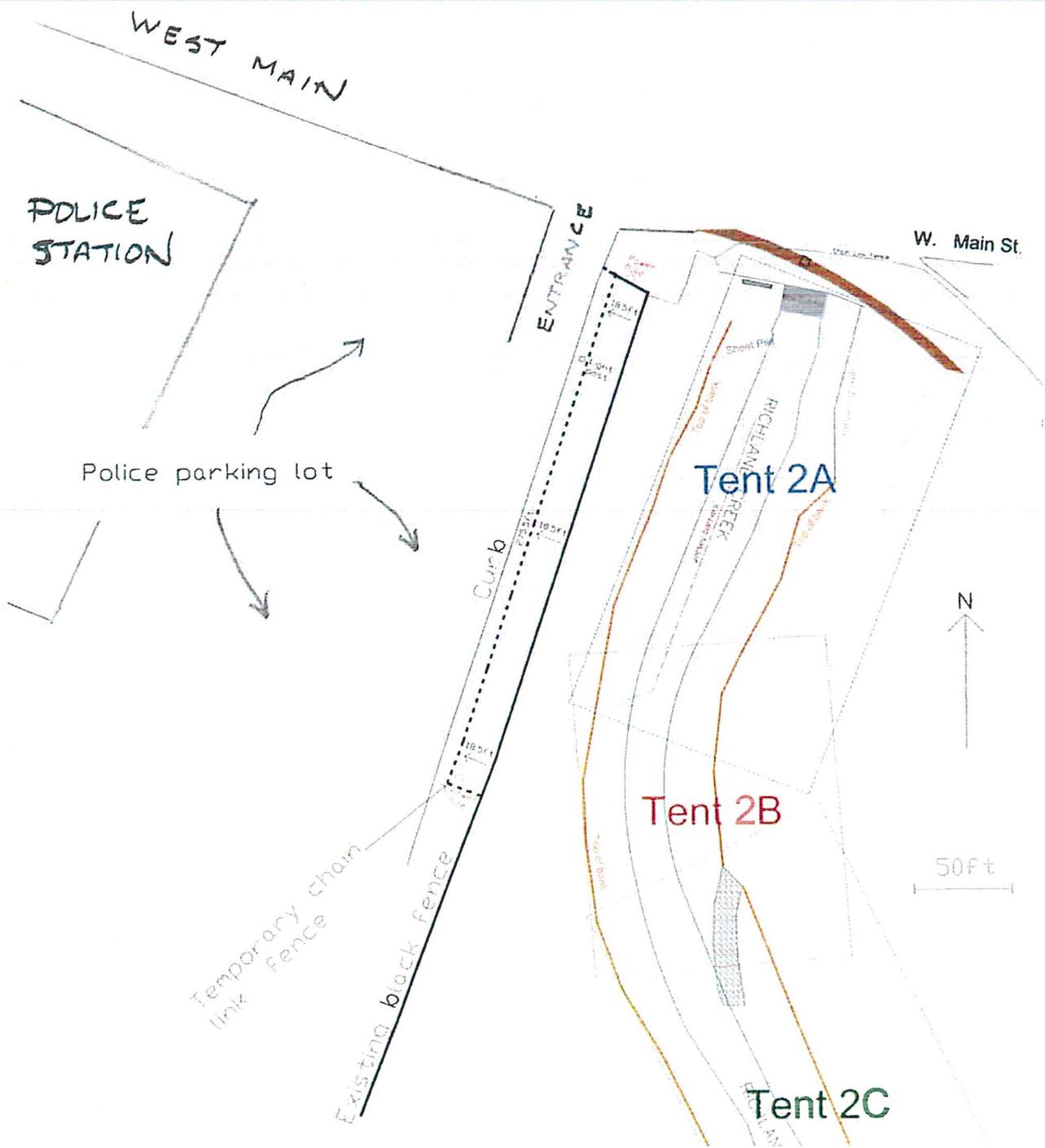
PSC has arranged for Belleville Fence to perform the work. They originally installed the black fence and have done all of the fencing on the remediation site to this date. They will remove the black fence, store the panels, put up the temporary chain link fence and when work is complete they will reverse the process by removing the chain link fence and reinstalling the black fence in its original location.

PSC will regrade and reseed the area as need to return it to as it was prior to removal of the black fence. While the temporary chain link fence is in place PSC will be responsible for grass mowing on the east side of the temporary chain link fence. A survey of the area with pictures will be performed prior to removal of the black fence to document original conditions.

The chain link fence will be standard six feet tall with top rail. If any other features are required to satisfy police security requirements, we can certainly modify the plans to meet those requirements.

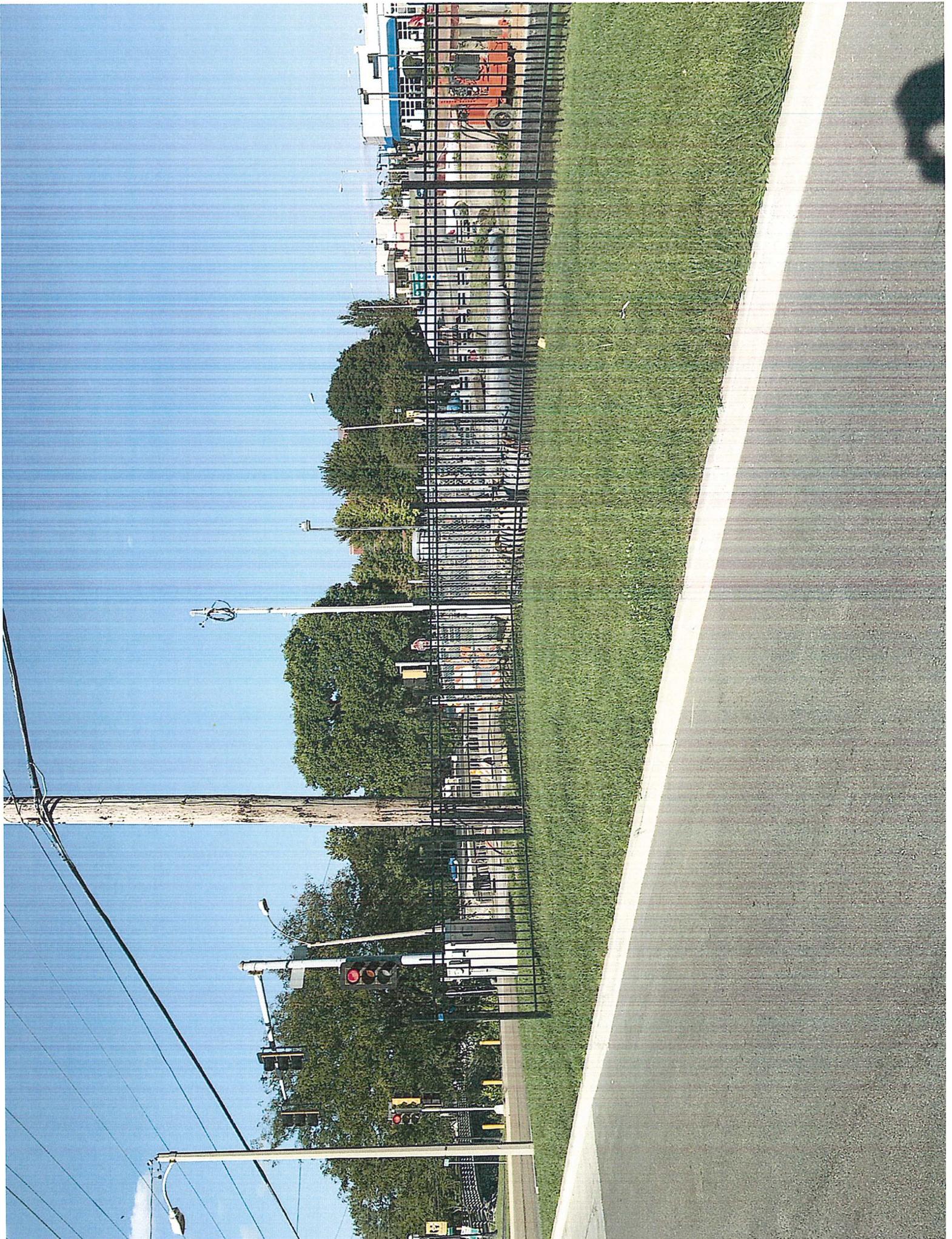
The current schedule calls for removal and replacement of the current fence in mid-September.

Along with the attached site sketch, PSC has included a few pictures of the area for your review. If you have any questions or need additional information please contact Charles Klumb of PSC via email @ [charles.klumb@pscnow.com](mailto:charles.klumb@pscnow.com) or via phone at (618) 281-1429.



--- TEMPORARY CHAIN LINK FENCE







THE STATE OF ILLINOIS

KNOW ALL BY THESE PRESENT

COUNTY OF ST. CLAIR

**INTERGOVERNMENTAL AGREEMENT**

**BETWEEN THE CITIES OF EAST ST. LOUIS AND BELLEVILLE, AND COUNTY OF ST. CLAIR, IL**

**2017 BYRNE JUSTICE ASSISTANCE GRANT (JAG) PROGRAM AWARD**

This Agreement is made and entered into this 16<sup>th</sup> day of August, 2017, by and between the City of East St. Louis, by and through its governing body, the City Council, hereinafter referred to as the City of East St. Louis, and the City of Belleville, acting by and through its governing body, the City Council, hereinafter referred to as City of Belleville, and the County of St. Clair acting by and through its governing body, the County Board, hereinafter referred to as St. Clair County, State of Illinois, witnessed:

**Whereas**, this Agreement is made under the authority of the Illinois Intergovernmental Cooperation Act (5 ILCS 22-01 ET SEQ.):

**Whereas**, each governing body, in performing governmental functions or in paying for the performance of governmental functions hereunder, shall make that performance or those payments from current revenues legally available to that party: and

**Whereas**, each governing body finds that the performance of this Agreement is in the best interest of both parties, that the undertaking will benefit the public, and that the division of costs fairly compensates the performing party for the services or functions under this agreement: and

**Whereas**, ALL parties agree to the joint allocation of \$103,156.00 to be divided as follows, East St. Louis shall receive \$45,444.00, the City of Belleville shall receive \$17,396.00 and St. Clair County shall receive \$40,316 from the JAG award for the 2017 Program; and

**WHEREAS**, the CITIES and COUNTY believe it to be in their best interests to reallocate the JAG funds.

**NOW THEREFORE**, the East St. Louis, Belleville, and St. Clair County agree as follows:

**Section 1.**

East St. Louis agrees to use \$45,444.00\*\*\*\*\*

St. Clair County agrees to use \$40,316.00\*\*\*\*\*

Belleville agrees to use \$17,396.00\*\*\*\*\*

**Section 2.**

Nothing in the performance of this Agreement shall impose any liability for claims against St. Clair County other than claims for which liability may be imposed by any Tort Claims Act.

**Section 3.**

Nothing in the performance of this Agreement shall impose any liability for claims against Belleville other than claims for which liability may be imposed by any Tort Claims Act.

**Section 4.**

Nothing in the performance of this Agreement shall impose any liability for claims against East St. Louis other than claims for which liability may be imposed by any Tort Claims Act.

**Section 5.**

Each party to this agreement will be responsible for its own actions in providing services under this agreement and shall not be liable for any civil liability that may arise from the furnishing of the services by the other party.

**Section 6.**

The parties to the Agreement do not intend for any third party to obtain a right by virtue of this Agreement.

**Section 7.**

By entering into this Agreement, the parties do not intend to create any obligations express or implied other than those set out herein; further, this Agreement shall not create any rights in any party not a signatory hereto.

APPROVED

ATTEST

Mark W. Eckert Date 9-1-17

Mayor of Belleville, IL

[Signature] Date 9/1/17

City Clerk of Belleville, IL

[Signature] Date 8/18/17

Mayor of East St. Louis, IL

[Signature] Date 8/29/17

City Clerk of East St. Louis, IL

[Signature] Date 9/5/17

Board Chairman of St. Clair County, IL

[Signature] Date 8/31/17

County Clerk of St. Clair County, IL

APPROVED AS TO FORM:

[Signature]

City Attorney, Belleville, IL

[Signature]

City Attorney, East St. Louis, IL

[Signature]

State's Attorney, St. Clair County, IL

09/05/17 10:15 AM



# SPECIAL EVENT REQUEST

Notification is hereby given to the City of Belleville to request a Special Event as follows:

**PLEASE ALLOW MINIMUM (8) WEEKS FOR PROCESSING THE REQUEST. TEN (10) WEEKS PREFERRED.**

**PLEASE ALLOW THREE (3) MONTHS FOR PROCESSING IF EITHER ILLINOIS ROUTE 159 OR ANY OTHER STATE ROUTE THAT WILL BE CLOSED.**

Name(s) of sponsoring organization(s): The Fest

Date of Event: 10/14/17 Event Starting Time: 9:00 a.m. Event Ending Time: 5:00 p.m.

Street Closure Time: NO street closures Street Re-Open Time: \_\_\_\_\_

Name(s) of person(s) responsible for organizing and conducting event:

Name	Address	Phone	Email
Kenny Herzog		618-447-3294	whiteradonna@gmail.com

Number of people (150-300) animals (\_\_\_\_) vehicles (100+) expected to participate.

Describe the event in detail:

car show/cruise

Specify event route from starting point to termination point (*a map of the event route is required*):

900 Scheel St - City owned lots  
08220215012 08220215031

Are you requesting streets to be closed? If so, list specifics below and note on map of event route:

No

Will either Illinois Route 159 any other State Routes be blocked (if YES, it will require approval from the Illinois Department of Transportation):  Yes  No

Does this event require any of the following?

- Trash Containers  Yes  No Number Requested: 4
- Picnic Tables  Yes  No Number Requested: \_\_\_\_\_
- Sanitation Vehicle and Manpower  Yes  No
- Electric (note on map location(s))  Yes  No Number Requested: \_\_\_\_\_

A CERTIFICATE OF INSURANCE NAMING THE CITY OF BELLEVILLE AS AN ADDITIONAL INSURED IS REQUIRED IN THE AMOUNT OF \$1 MILLION DOLLARS PER PERSON AND \$2,000,000 AGGREGATE. YOUR APPLICATION WILL NOT BE CONSIDERED OR APPROVED WITHOUT RECEIPT OF THIS DOCUMENT. (City of Belleville • 101 South Illinois Street • Belleville • IL • 62220)

IF EITHER ROUTE 159 OR ANY OTHER STATE ROUTE WILL BE CLOSED, A CERTIFICATE OF INSURANCE NAMING ILLINOIS DEPARTMENT OF TRANSPORTATION AS AN ADDITIONAL INSURED IS REQUIRED IN THE AMOUNT OF \$1 MILLION DOLLARS. YOUR APPLICATION WILL NOT BE CONSIDERED OR APPROVED WITHOUT RECEIPT OF THIS DOCUMENT. (IL Department of Transportation • 1100 East Court Plaza Drive • Collinsville • IL • 62234)

Affixing my signature to this application, declares my acceptance and understanding of the guidelines and certain limitations which may apply to this event.

<p><u>Kenny Herzog</u> Signature of Person Making Application</p> <p><u>3775 Michael John Drive</u> Mailing Address</p> <p><u>618-447-3294</u> Phone Number</p>	<p><u>Kenny Herzog</u> Printed Name of Person Making Application</p> <p><u>Swansea, IL 62226</u></p> <p><u>whiteradoll@gmail.com</u> E-mail</p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------

DATE OF APPLICATION: \_\_\_\_\_

Return this form (via mail or email):

City of Belleville - City Clerk's Office  
 101 South Illinois Street  
 Belleville, Illinois 62220  
 E-mail: [jmeyer@belleville.net](mailto:jmeyer@belleville.net)  
 (618) 233-6810

Part A Photos provided by Event  
Food provided by event  
No food trucks

# CAR SHOW

<b>CHECKLIST</b> <small>(FOR USE BY CITY PERSONNEL ONLY)</small>	<b>EVENT INFORMATION</b> <small>(FOR USE BY CITY PERSONNEL ONLY)</small> Completed application/documentation to be sent to city staff prior to meeting. Meeting will be scheduled with all city staff and a representative of the event.
<input checked="" type="checkbox"/> Application <input checked="" type="checkbox"/> Event Map <input type="checkbox"/> Insurance Certificate <i>will submit UPON approval</i>	Date Received by City Clerk's Office: <u>07/25/17</u> Scheduled Meeting Date: <u>09/05/17 10:15AM</u> Date Approved by Staff: <u>09/06/17</u> Date on Council Agenda: <u>09/18/17</u> Notification Sent to Event Representative of Council Meeting: <u>09/11/17</u>
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied on: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

### STAFF REVIEW SECTION

Police Department: See Attached

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Fire Department: \_\_\_\_\_

APPROVED  DENIED DATE: 9-5-17 INITIALS: [Signature]

Public Works: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Maintenance Department: N/A

APPROVED  DENIED DATE: 9-5-17 INITIALS: KLV

CHECKLIST (FOR USE BY CITY PERSONNEL ONLY)	EVENT INFORMATION (FOR USE BY CITY PERSONNEL ONLY) Completed application/documentation to be sent to city staff prior to meeting. Meeting will be scheduled with all city staff and a representative of the event.
<input type="checkbox"/> Application <input type="checkbox"/> Event Map <input type="checkbox"/> Insurance Certificate	Date Received by City Clerk's Office: <u>07/25/17</u> Scheduled Meeting Date: _____ Date Approved by Staff: _____ Date on Council Agenda: _____ Notification Sent to Event Representative of Council Meeting: _____
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied on: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

STAFF REVIEW SECTION

Police Department: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

APPROVED    DENIED   DATE: \_\_\_\_\_   INITIALS: \_\_\_\_\_

Fire Department: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

APPROVED    DENIED   DATE: \_\_\_\_\_   INITIALS: \_\_\_\_\_

Public Works: Public Works will provide 4 trash cans.  
We will also mow and clean area prior to event.  
We ask that the grounds be cleaned post event.

APPROVED    DENIED   DATE: 9/5/17   INITIALS: JRP

Maintenance Department: \_\_\_\_\_  
 \_\_\_\_\_

APPROVED    DENIED   DATE: \_\_\_\_\_   INITIALS: \_\_\_\_\_

CAR SHOW

CHECKLIST (FOR USE BY CITY PERSONNEL ONLY)	EVENT INFORMATION (FOR USE BY CITY PERSONNEL ONLY) Completed application/documentation to be sent to city staff prior to meeting. Meeting will be scheduled with all city staff and a representative of the event.
<input type="checkbox"/> Application <input type="checkbox"/> Event Map <input type="checkbox"/> Insurance Certificate	Date Received by City Clerk's Office: <u>07/25/17</u> Scheduled Meeting Date: _____ Date Approved by Staff: _____ Date on Council Agenda: _____ Notification Sent to Event Representative of Council Meeting: _____
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied on: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

STAFF REVIEW SECTION

Police Department: N/A

APPROVED  DENIED DATE: 9-05-17 INITIALS: CM # 280

Fire Department: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Public Works: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Maintenance Department: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

## Jenny Meyer

---

**From:** Kenny Herzog [whiterado11@gmail.com]  
**Sent:** Monday, July 24, 2017 6:04 PM  
**To:** Jenny Meyer  
**Subject:** Re: Event Requests for the City of Belleville

I have been trying to print out the form for a special event but I'm having problems with either my email or printer. I would like to request permission to hold a car show/cruise in on Saturday, October 14th at the field on 900 Scheel Street. We have held it in this location for the previous 2 years and would appreciate if we could use the location again. We will get event insurance upon approval, we will get port-o-potties, and anything else that needs to be done. The only request we would have is trash cans. Any other information you may need please contact me at 618-447-3294.

Thank you for your time,  
Kenny Herzog  
  
Sent from my iPhone

On Jun 19, 2017, at 1:30 PM, Jenny Meyer <[jmeyer@belleville.net](mailto:jmeyer@belleville.net)> wrote:

Dear Event Organizers:

We have you listed as the contact for your respective organization requesting to hold an event in Belleville using City resources and/or personnel and requiring Council approval in the past years.

In an effort to streamline the City event approval process, disseminate pertinent information to the required City departments and to provide the event organizers with all necessary information for a successful event, the City Clerk's office has implemented a **NEW** application process.

For your information I've attached the applications for Block Parties, Parades, Run-Walk-Bicycle Events and Special Events. An Event Guideline and Checklist has also been attached for your information.

**For all events that have not received Council approval as of June 26, 2017, please submit the applicable application to the City Clerk's office for review and Council approval.**

**If your event for 2017 already occurred or received Council approval, do NOT submit a new application for the same event. You will need to submit the applicable application for 2018 approval.**

Upon receipt of the application, I will contact you directly to schedule a meeting with representatives of the event and representatives from the Police Department, Fire Department, Public Works and Building & Maintenance. As of June 26, 2017 a meeting will be required for ALL events prior to Council approval. The meetings are designed to clarify various items and provide a format for questions and answers amongst all parties (i.e. route, City equipment needed, City manpower).

Once the meeting has concluded and the City departments sign-off on the application, the request will be placed on the next available City Council meeting agenda for final approval. The City Clerk's office will notify the event organizers of the date/time of the City Council meeting, as well as final approval or denial by the Council.

If you have any questions, please do not hesitate to contact me at (618) 233-6518 ext 1227, Monday through Friday, 8:00a.m. to 5:00p.m.

# My Map



Copyright 2011 Esri. All rights reserved. Tue Jul 25 2017 01:20:50 PM.



# PARADE REQUEST

Notification is hereby given to the City of Belleville to request a Parade Event as follows:

PLEASE ALLOW (8) WEEKS FOR PROCESSING THE REQUEST.  
PLEASE ALLOW THREE (3) MONTHS FOR PROCESSING IF EITHER  
ILLINOIS ROUTE 159 OR ANY OTHER STATE ROUTE THAT WILL BE CLOSED.

Name(s) of sponsoring organization(s): Belleville Area Humane Society

Date of Event: 10/29/17 Starting Time: 1PM Ending Time: 2PM

Street Closure Time: ~~12:40~~ 12:50PM Street Re-Open Time: 2PM

Name(s) of person(s) responsible for organizing and conducting event:

Name	Address	Phone	Email
Kristina Boron	124 Brittany Lane	618-520-1325	Kristina.boron@gmail.com
Shelly Tribout-Korves		618-410-6376	SKORES@aol.com
Tricia Tialdo		618-593-2983	triciat@paknet.net

Number of people (250) animals (120) vehicles (10) expected to participate.

Describe the event in detail:

Howl-o'-ween Pet Parade benefits the homeless dogs and cats at our shelter. It is a family event where participants are encouraged to bring their animals and walk.

Specify event route from starting point to termination point (a map of the event route is required):

Update: Parade will start on S. High Street then move down E Lincoln St, up S Charles St, wrap down E main street and end back on S High Street.

Are you requesting streets to be closed? If so, list specifics below and note on map of event route:

Our shelter has numerous people who volunteer and we will be using them if city agrees, so how many police are required? Per black boxes on map, we will need to 3 roads.

Will either Illinois Route 159 any other State Routes be blocked (if YES, it will require approval from the Illinois Department of transportation):  Yes  No

Does this event require any of the following?

- Trash Containers  Yes  No Number Requested: \_\_\_\_\_
- Picnic Tables  Yes  No Number Requested: \_\_\_\_\_
- Sanitation Vehicle and Manpower  Yes  No
- Electric (note on map location(s))  Yes  No Number Requested: \_\_\_\_\_

A CERTIFICATE OF INSURANCE NAMING THE CITY OF BELLEVILLE AS AN ADDITIONAL INSURED IS REQUIRED IN THE AMOUNT OF \$1 MILLION DOLLARS PER PERSON AND \$2,000,000 AGGREGATE. YOUR APPLICATION WILL NOT BE CONSIDERED OR APPROVED WITHOUT RECEIPT OF THIS DOCUMENT. (City of Belleville • 101 South Illinois Street • Belleville •IL •62220)

IF EITHER ROUTE 159 OR ANY OTHER STATE ROUTE WILL BE CLOSED, A CERTIFICATE OF INSURANCE NAMING ILLINOIS DEPARTMENT OF TRANSPORTATION AS AN ADDITIONAL INSURED IS REQUIRED IN THE AMOUNT OF \$1 MILLION DOLLARS PER PERSON AND \$2,000,000 AGGREGATE. YOUR APPLICATION WILL NOT BE CONSIDERED OR APPROVED WITHOUT RECEIPT OF THIS DOCUMENT. (IL Department of Transportation • 1100 East Court Plaza Drive •Collinsville •IL •62234)

Affixing my signature to this application, declares my acceptance and understanding of the guidelines and certain limitation which may apply to this event.

Kristina M. Boron  
Signature of Person Making Application

Kristina M. Boron  
Printed Name of Person Making Application

124 Brittany Lane, Belleville, IL 62223  
Address

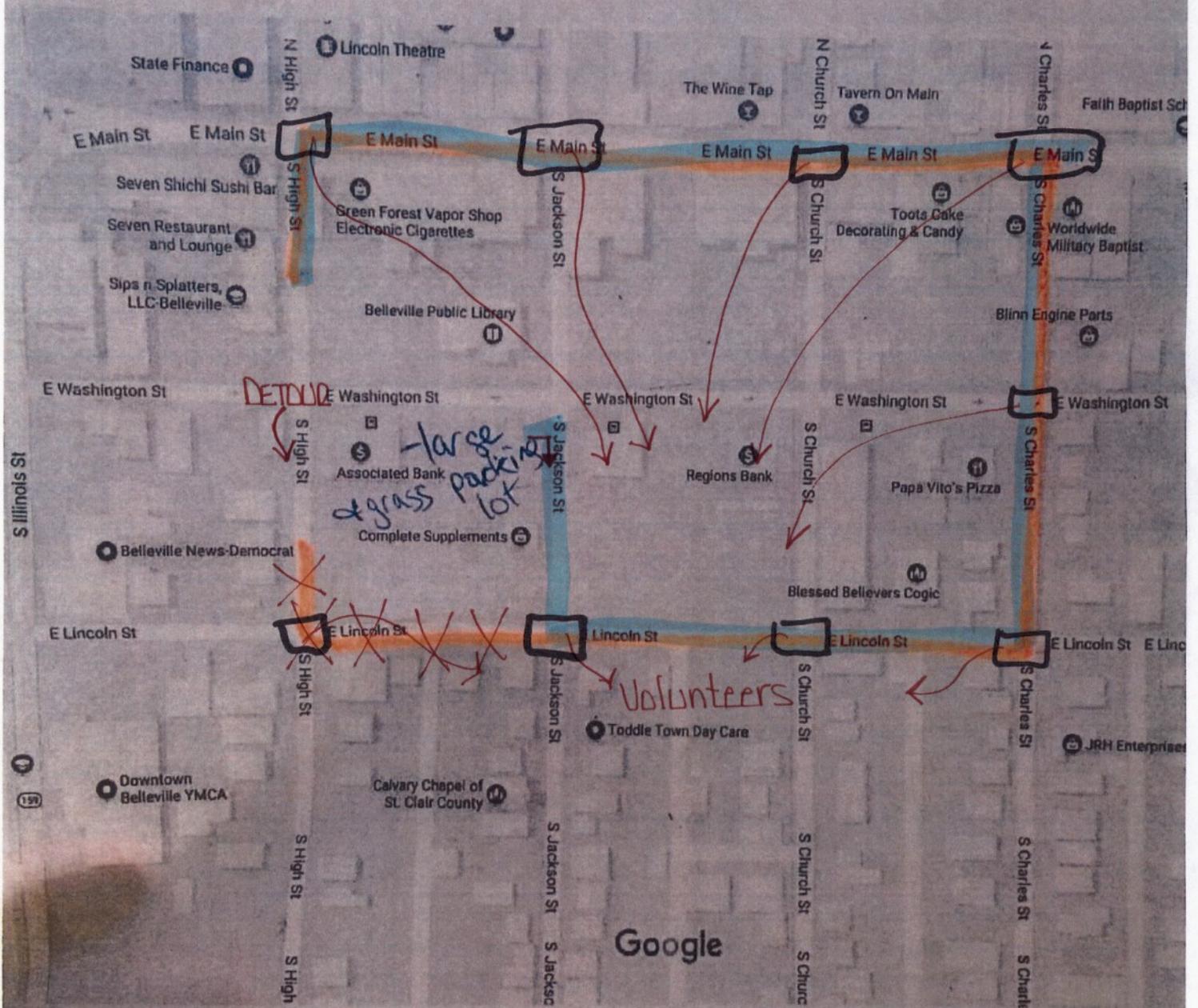
618-520-1325  
Telephone Number

kristina.boron@gmail.com  
E-mail Address

DATE OF APPLICATION: 8/24/17

Return this form (via mail or email):

City of Belleville - City Clerk's Office  
101 South Illinois Street  
Belleville, Illinois 62220  
E-mail: [jmeyer@belleville.net](mailto:jmeyer@belleville.net)  
(618) 233-6810



# Suggested Dog Parade Route

• volunteers handled street closures

- Dogs
- Walkers
- Band
- Fire Trucks
- ~1/2 hour

# Howl oween Pet Parade

<b>CHECKLIST</b> (FOR USE BY CITY PERSONNEL ONLY)	<b>EVENT INFORMATION</b> (FOR USE BY CITY PERSONNEL ONLY) Completed application/documentation to be sent to city staff prior to meeting. Meeting will be scheduled with all city staff and a representative of the event.
<input checked="" type="checkbox"/> Application <input checked="" type="checkbox"/> Event Map <input checked="" type="checkbox"/> Insurance Certificate	Date Received by City Clerk's Office: <u>08/24/17</u> Scheduled Meeting Date: <u>09/05/17</u> Date Approved by Staff: <u>09/06/17</u> Date on Council Agenda: <u>09/18/17</u> Notification Sent to Event Representative of Council Meeting: <u>09/11/17</u>
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied On: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

## STAFF REVIEW SECTION

Police Department: See Attached

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Fire Department: \_\_\_\_\_

APPROVED  DENIED DATE: 9/5/17 INITIALS: JL

Public Works: Barricades will be provided to be assembled and placed by volunteers as needed on parade route.

Street must be returned to original condition

APPROVED  DENIED DATE: 9/5/17 INITIALS: JRP

Maintenance Department: N/A

APPROVED  DENIED DATE: 9-5-17 INITIALS: KLK

Pet Parade 2017

CHECKLIST (FOR USE BY CITY PERSONNEL ONLY)	EVENT INFORMATION (FOR USE BY CITY PERSONNEL ONLY) Completed application/documentation to be sent to city staff prior to meeting. Meeting will be scheduled with all city staff and a representative of the event.
<input checked="" type="checkbox"/> Application <input checked="" type="checkbox"/> Event Map <input type="checkbox"/> Insurance Certificate	Date Received by City Clerk's Office: <u>08/24/17</u> Scheduled Meeting Date: <u>09/05/17</u> Date Approved by Staff: _____ Date on Council Agenda: _____ Notification Sent to Event Representative of Council Meeting: _____
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied On: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

STAFF REVIEW SECTION

Police Department: 2 Officers (subject to change)

Lead vehicle and Tail Vehicle.

Estimated Cost \$403.60

APPROVED  DENIED DATE: 9/6/17 INITIALS: CM #280

Fire Department: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Public Works: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Maintenance Department: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_



# CERTIFICATE OF LIABILITY INSURANCE

BELLE14

OP ID: TC

DATE (MM/DD/YYYY)

09/05/2017

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER <b>Hogan Insurance Group</b> 3636 S. Geyer Road, Ste 110 St. Louis, MO 63127 John P Hogan	CONTACT NAME: <b>John P Hogan</b>	
	PHONE (A/C, No, Ext): <b>314-571-6547</b>	FAX (A/C, No): <b>314-892-8998</b>
E-MAIL ADDRESS: <b>jburk@higstl.com</b>		
INSURER(S) AFFORDING COVERAGE		NAIC #
INSURER A : <b>Cincinnati Insurance Company</b>		
INSURER B : <b>RISK INNOVATIONS, LLC</b>		
INSURER C :		
INSURER D :		
INSURER E :		
INSURER F :		

INSURED **The Belleville Area Humane Society**  
**1301 S 11th St, P.O. Box 23057**  
**Belleville, IL 62223**

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			EPP0210224	09/01/2017	09/01/2020	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
							MED EXP (Any one person)	\$ 5,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS			EPP0210224	09/01/2017	09/01/2018	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB DED RETENTION \$						EACH OCCURRENCE	\$
							AGGREGATE	\$
								\$
B	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			BNUWC0137880	09/01/2017	09/01/2018	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER	
							E.L. EACH ACCIDENT	\$ 100,000
							E.L. DISEASE - EA EMPLOYEE	\$ 100,000
							E.L. DISEASE - POLICY LIMIT	\$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER CANCELLATION

<b>City of Belleville</b> <b>101 S Illinois Street</b> <b>Belleville, IL 62220</b>	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE <b>John P Hogan</b>
------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

© 1988-2014 ACORD CORPORATION. All rights reserved.



# BLOCK PARTY REQUEST

Notification is hereby given to the City of Belleville to request a Block Party as follows:

**PLEASE ALLOW FOUR (4) WEEKS FOR PROCESSING**  
**\*\*\*\* A MAP OF THE AREA WITH STREET CLOSURES NOTED REQUIRED \*\*\*\***

Name(s) of requester(s): Belleville Area Humane Society

Date of Event: 10/29/17 Event Starting Time: 1PM Event Ending Time: 4PM

Street Closure Time: 11am Street Re-Open Time: 5PM

Name(s) of person(s) responsible for organizing and conducting event: 1st block of S High St between Washington and E Main

Name	Address	Phone	Email
Kristina Boron	124 Brittany Lane	618-520-1325	Kristina.boron@gmail.com

Collect one signature from each resident in the affected area **even if they are not participating in the event.**  
 (Please use a separate piece of paper if additional space is needed.)

NAME	ADDRESS	SIGNATURE
J. Seven	S. High	assisting w/ event

Does this event require any of the following?

- Trash Containers  Yes  No Number Requested: ~~8~~ 8
- Picnic Tables  Yes  No Number Requested: 10
- Sanitation Vehicle and Manpower  Yes  No
- Electric (note on map location(s))  Yes  No Number Requested:

Affixing my signature to this application, declares my acceptance and understanding of the guidelines and certain limitations which may apply to this event.

Kristina M. Boron  
Signature of Person Making Application

Kristina M. Boron  
Printed Name of Person Making Application

124 Brittany Lane  
Mailing Address

(618) 520-1325  
Phone Number

Kristina.boron@gmail.com  
E-mail

DATE OF APPLICATION: 8/24/17

Return this form (via mail or email):

City of Belleville - City Clerk's Office  
101 South Illinois Street  
Belleville, Illinois 62220  
E-mail: [jmeyer@belleville.net](mailto:jmeyer@belleville.net)  
(618) 233-6810

# Howl a ween Pet Parade Block Party

CHECKLIST (FOR USE BY CITY PERSONNEL ONLY)	EVENT INFORMATION (FOR USE BY CITY PERSONNEL ONLY) Completed application/documentation to be sent to city staff prior to meeting. Meeting will then be scheduled with all city staff and a representative of the event.
<input checked="" type="checkbox"/> Application <input type="checkbox"/> Event Map	Date Received by City Clerk's Office: <u>08/24/17</u> Scheduled Meeting Date: <u>09/05/17</u> Date Approved by Staff: <u>09/06/17</u> Date on Council Agenda: <u>09/18/17</u> Notification Sent to Event Representative of Council Meeting: <u>09/11/17</u>
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied on: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

### STAFF REVIEW SECTION

Police Department: \_\_\_\_\_

APPROVED     DENIED    DATE: \_\_\_\_\_    INITIALS: \_\_\_\_\_

Fire Department: \_\_\_\_\_

APPROVED     DENIED    DATE: 9/5/17    INITIALS: JK

Public Works: Type III barricades will be provided to be placed by volunteers. Picnic tables and trash containers will be provided.  
No Parking will be posted for event 24 hrs prior to event

APPROVED     DENIED    DATE: 9/5/17    INITIALS: JRP

Maintenance Department: N/A

APPROVED     DENIED    DATE: 9-5-17    INITIALS: KLV

*Pet Parade Block Party 2017*

CHECKLIST (FOR USE BY CITY PERSONNEL ONLY)	EVENT INFORMATION (FOR USE BY CITY PERSONNEL ONLY) Completed application/documentation to be sent to city staff prior to meeting. Meeting will then be scheduled with all city staff and a representative of the event.
<input checked="" type="checkbox"/> Application <input type="checkbox"/> Event Map	Date Received by City Clerk's Office: <u>08/24/17</u> Scheduled Meeting Date: <u>09/05/17</u> Date Approved by Staff: _____ Date on Council Agenda: _____ Notification Sent to Event Representative of Council Meeting: _____
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied on: _____	
Notification Sent to Event Representative of Council Approval/Denial on: _____	

STAFF REVIEW SECTION

Police Department: N/A

APPROVED  DENIED DATE: 9/6/17 INITIALS: CM

Fire Department: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Public Works: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Maintenance Department: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

09/05/17 11:15am



# PARADE REQUEST

Notification is hereby given to the City of Belleville to request a Parade Event as follows:

**PLEASE ALLOW (8) WEEKS FOR PROCESSING THE REQUEST.**  
**PLEASE ALLOW THREE (3) MONTHS FOR PROCESSING IF EITHER ILLINOIS ROUTE 159 OR ANY OTHER STATE ROUTE THAT WILL BE CLOSED.**

Name(s) of sponsoring organization(s): Optimist Club of Belleville

Date of Event: November 24 Starting Time: 10:00 AM Ending Time: 12:00 PM

Street Closure Time: 8:00 AM Street Re-Open Time: 12:00 PM

Name(s) of person(s) responsible for organizing and conducting event:

Name	Address	Phone	Email
Cindy Hawkins		618-541-9930	hawkinsr70@aol.com

Number of people ( ) animals ( ) vehicles ( ) expected to participate.

Describe the event in detail: 100 total units

The annual holiday kickoff to welcome Santa to Belleville.

Specify event route from starting point to termination point (a map of the event route is required):

17th & West Main to Union United Methodist Church@ 721 East Main

Are you requesting streets to be closed? If so, list specifics below and note on map of event route:

Yes. Main Street from 20th to Douglas Ave

10am - parade route

8am - 17th to 20th on W Main

Will either Illinois Route 159 any other State Routes be blocked (if YES, it will require approval from the Illinois Department of transportation):  Yes  No

Does this event require any of the following?

- Trash Containers  Yes  No Number Requested: \_\_\_\_\_
- Picnic Tables  Yes  No Number Requested: \_\_\_\_\_
- Sanitation Vehicle and Manpower  Yes  No
- Electric (note on map location(s))  Yes  No Number Requested: \_\_\_\_\_

**A CERTIFICATE OF INSURANCE NAMING THE CITY OF BELLEVILLE AS AN ADDITIONAL INSURED IS REQUIRED IN THE AMOUNT OF \$1 MILLION DOLLARS PER PERSON AND \$2,000,000 AGGREGATE. YOUR APPLICATION WILL NOT BE CONSIDERED OR APPROVED WITHOUT RECEIPT OF THIS DOCUMENT. (City of Belleville • 101 South Illinois Street • Belleville •IL •62220)**

**IF EITHER ROUTE 159 OR ANY OTHER STATE ROUTE WILL BE CLOSED, A CERTIFICATE OF INSURANCE NAMING ILLINOIS DEPARTMENT OF TRANSPORTATION AS AN ADDITIONAL INSURED IS REQUIRED IN THE AMOUNT OF \$1 MILLION DOLLARS PER PERSON AND \$2,000,000 AGGREGATE. YOUR APPLICATION WILL NOT BE CONSIDERED OR APPROVED WITHOUT RECEIPT OF THIS DOCUMENT. (IL Department of Transportation • 1100 East Court Plaza Drive •Collinsville •IL •62234)**

**Affixing my signature to this application, declares my acceptance and understanding of the guidelines and certain limitation which may apply to this event.**

Cindy Hawkins  
Signature of Person Making Application

Cindy Hawkins  
Printed Name of Person Making Application

2101 Park Rd  
Address

Belleville, IL 62220

618-541-9930  
Telephone Number

hawkinsr70@aol.com  
E-mail Address

DATE OF APPLICATION: \_\_\_\_\_

Return this form (via mail or email):

City of Belleville - City Clerk's Office  
101 South Illinois Street  
Belleville, Illinois 62220  
E-mail: [jmeyer@belleville.net](mailto:jmeyer@belleville.net)  
(618) 233-6810

# Santa Parade

<b>CHECKLIST</b> (FOR USE BY CITY PERSONNEL ONLY)	<b>EVENT INFORMATION</b> (FOR USE BY CITY PERSONNEL ONLY) Completed application/documentation to be sent to city staff prior to meeting. Meeting will be scheduled with all city staff and a representative of the event.
<input checked="" type="checkbox"/> Application <input type="checkbox"/> Event Map <input checked="" type="checkbox"/> Insurance Certificate	Date Received by City Clerk's Office: <u>08/17/17</u> Scheduled Meeting Date: <u>09/05/17 11:5AM</u> Date Approved by Staff: <u>9/6/17</u> Date on Council Agenda: <u>9/28/17</u> Notification Sent to Event Representative of Council Meeting: <u>9/11/17</u>
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied On: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

## STAFF REVIEW SECTION

Police Department: See Attached

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Fire Department: \_\_\_\_\_

APPROVED  DENIED DATE: 9/15/17 INITIALS: JF

Public Works: Barricades, set up, and clean up to be provided as in years past.

APPROVED  DENIED DATE: 9/5/17 INITIALS: JRP

Maintenance Department: N/A

APPROVED  DENIED DATE: 9-5-17 INITIALS: KLV

*SANTA CLARA PARADE 2017*

CHECKLIST (FOR USE BY CITY PERSONNEL ONLY)	EVENT INFORMATION (FOR USE BY CITY PERSONNEL ONLY) <small>Completed application/documentation to be sent to city staff prior to meeting. Meeting will be scheduled with all city staff and a representative of the event.</small>
<input checked="" type="checkbox"/> Application <input type="checkbox"/> Event Map <input checked="" type="checkbox"/> Insurance Certificate	Date Received by City Clerk's Office: <u>08/17/17</u> Scheduled Meeting Date: _____ Date Approved by Staff: _____ Date on Council Agenda: _____ Notification Sent to Event Representative of Council Meeting: _____
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied On: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

STAFF REVIEW SECTION

Police Department: 36 Officers doing same rate as 2016.  
Estimate cost at 7264.00 - 87600

APPROVED  DENIED DATE: 9/6/17 INITIALS: cm #260  
 Fire Department: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_  
 Public Works: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_  
 Maintenance Department: \_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
08/16/2017

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Mercer Consumer, a service of Mercer Health & Benefits Administration LLC P.O. Box 14521 Des Moines, IA 50306-4521	<b>CONTACT NAME:</b> PHONE (A/C, No, Ext): 800-503-9227 EMAIL ADDRESS: plsdsteam.service@mercer.com	<b>FAX (A/C, No):</b> 515-365-3005
	<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b> Optimist International Optimist Club of Belleville c/o Cindy Hawkins 2101 Park Rd Belleville, IL 62220	<b>INSURER A:</b> Philadelphia Indemnity Insurance Co	
	<b>INSURER B:</b>	
	<b>INSURER C:</b>	
	<b>INSURER D:</b>	
	<b>INSURER E:</b>	
	<b>INSURER F:</b>	

### COVERAGES

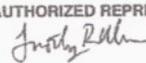
CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	PHPK1644021	05/01/2017	05/01/2018	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
							MED EXP (Any one person)	\$ Excluded
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMPI/OP AGG	\$ 2,000,000
A	<input type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	<input type="checkbox"/>	<input type="checkbox"/>	PHPK1644021	05/01/2017	05/01/2018	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTIONS	<input type="checkbox"/>	<input type="checkbox"/>				EACH OCCURRENCE	\$
							AGGREGATE	\$
								\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/>	<input type="checkbox"/>				PER STATUTE	OTH-ER
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$
	OTHER							

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  
Effective 11/24/2017 include City Belleville as additional insured: Certificate Holder (CG2012) but only with respects to the named insured's negligence with regards to the Santa Parade event to be held from West Main to East Main in Belleville, Illinois on 11/24/2017.

<b>CERTIFICATE HOLDER</b> City of Belleville 101 S Illinois St. Belleville, IL 62220	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
08/16/2017

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Mercer Consumer, a service of Mercer Health & Benefits Administration LLC P.O. Box 14521 Des Moines, IA 50306-4521	<b>CONTACT NAME:</b> PHONE (A/C No, Ext): 800-503-9227		<b>FAX (A/C No):</b> 515-365-3005
	<b>EMAIL ADDRESS:</b> Partner		
		<b>INSURER(S) AFFORDING COVERAGE</b>	<b>NAIC #</b>
		<b>INSURER A:</b> Philadelphia Indemnity Insurance Co	
		<b>INSURER B:</b>	
		<b>INSURER C:</b>	
		<b>INSURER D:</b>	
		<b>INSURER E:</b>	
		<b>INSURER F:</b>	

**INSURED**  
 Optimist International  
 Optimist Club Of Belleville  
 c/o Cindy Hawkins  
 2101 Park Rd.  
 Belleville, IL 62220

### COVERAGES

### CERTIFICATE NUMBER:

### REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	PHPK1644021	05/01/2017	05/01/2018	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
							MED EXP (Any one person)	\$ Excluded
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
A	<input type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	<input type="checkbox"/>	<input type="checkbox"/>	PHPK1644021	05/01/2017	05/01/2018	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB DED RETENTIONS	<input type="checkbox"/>	<input type="checkbox"/>				EACH OCCURRENCE	\$
							AGGREGATE	\$
								\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/>	N/A				PER STATUTE	OTH-ER
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$
	OTHER							

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  
**Effective 11/24/2017 include MMRG Building as additional insured: Certificate Holder (CG2011) but only with respects to the named insured's negligence with regards to the Santa Parade event to be held from West Main to East Main in Belleville, IL on 11/24/2017 .**

### CERTIFICATE HOLDER

### CANCELLATION

MMRG Building  
23 Public Square  
Belleville, IL 62220

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

09/05/17 11:30a



# RUN/WALK/BICYCLE REQUEST

Notification is hereby given to the City of Belleville to request an Event (Run, Walk, Bicycle) utilizing public streets, sidewalks, right-of-ways and/or city equipment as follows:

**PLEASE ALLOW (8) WEEKS FOR PROCESSING THE REQUEST.**

**PLEASE ALLOW THREE (3) MONTHS FOR PROCESSING IF EITHER ILLINOIS ROUTE 159 OR ANY OTHER STATE ROUTE THAT WILL BE CLOSED.**

RUN  WALK  BICYCLE

Name(s) of sponsoring organization(s): Parks + Recreation Department

Date of Event: 12/2/17 Event Starting Time: 8:30 AM Event Ending Time: 10:30 A.M

Street Closure Time: 8:00 AM Street Re-Open Time: 11:00 AM

Name(s) of person(s) responsible for organizing and conducting event:

Name	Address	Phone	Email
Debbie Belleville	510 W. Main Street	(618) 560-9960 (618) 233-1416	dbelleville@belleville.net
Jason Poole		(618) 779-1196	jpoole@belleville.net

Estimate  
Number of people (700 - 800) animals (-0-) vehicles (-0-) expected to participate.

Describe the event in detail:

5K Run/Walk throughout downtown/neighborhoods  
Holiday fitness event sponsored by Belleville Parks +  
Recreation Department. Third leg of the Tripe Crown:  
how Day, Tour de Belleville, Gingerbread Run.

Specify event route from starting point to termination point (a map of the event route is required):

See map

New-Start/End - 510 W. Main Street (East parking lot)  
Begin in front of office on W. Main Street down Main St. to N. Douglas, turn on Monroe St, turn on Forest Ave, turn on McKinley St, turn on Mascoutah Ave, turn on Lincoln, 6th St (couple) Washington St, 6th St. to W. Main

Are you requesting streets to be closed? If so, list specific street(s) below and note on map of event route:

4th to 6th Street W. Main (Eastbound) - 8-11 AM  
(Westbound) - Start line area  
approx 30 minutes only.

Will either Illinois Route 159 any other State Routes be blocked (if YES, it will require approval from the Illinois Department of Transportation):  Yes  No

Does this event require any of the following?

- Trash Containers Parks Cans
- Picnic Tables
- Sanitation Vehicle and Manpower
- Electric (note on map location(s)) Start/End

Parks Staff handles logistics

- Yes  No Number Requested: 4
- Yes  No Number Requested: \_\_\_\_\_
- Yes  No Number Requested: Generator
- Yes  No Number Requested: \_\_\_\_\_

A CERTIFICATE OF INSURANCE NAMING THE CITY OF BELLEVILLE AS AN ADDITIONAL INSURED IS REQUIRED IN THE AMOUNT OF \$1 MILLION DOLLARS PER PERSON AND \$2,000,000 AGGREGATE. YOUR APPLICATION WILL NOT BE CONSIDERED OR APPROVED WITHOUT RECEIPT OF THIS DOCUMENT. (City of Belleville • 101 South Illinois Street • Belleville • IL • 62220)

IF EITHER ROUTE 159 OR ANY OTHER STATE ROUTE WILL BE CLOSED, A CERTIFICATE OF INSURANCE NAMING ILLINOIS DEPARTMENT OF TRANSPORTATION AS AN ADDITIONAL INSURED IS REQUIRED IN THE AMOUNT OF \$1 MILLION DOLLARS PER PERSON AND \$2,000,000 AGGREGATE. YOUR APPLICATION WILL NOT BE CONSIDERED OR APPROVED WITHOUT RECEIPT OF THIS DOCUMENT. (IL Department of Transportation • 1100 East Court Plaza Drive • Collinsville • IL • 62234)

Affixing my signature to this application, declares my acceptance and understanding of the guidelines and certain limitations which may apply to this event.

Debbie Belleville Signature of Person Making Application  
Debbie Belleville Printed Name of Person Making Application  
510 W. Main Street, Belleville, IL 62220 Mailing Address  
(618) 233-1416 (618) 560-9960 Phone Number  
dbelleville@belleville.net E-mail

DATE OF APPLICATION: 8/09/17

Return this form (via mail or email):

City of Belleville - City Clerk's Office  
101 South Illinois Street  
Belleville, Illinois 62220  
E-mail: jmeyer@belleville.net  
(618) 233-6810

# Gingerbread SK

<b>CHECKLIST</b> (FOR USE BY CITY PERSONNEL ONLY)	<b>EVENT INFORMATION</b> (FOR USE BY CITY PERSONNEL ONLY) Completed application/documentation to be sent to city staff prior to meeting. Meeting will then be scheduled with all city staff and a representative of the event.
<input checked="" type="checkbox"/> Application <input checked="" type="checkbox"/> Event Map <input type="checkbox"/> Insurance Certificate	Date Received by City Clerk's Office: <u>8/29/17</u> Scheduled Meeting Date: <u>9/5/17 1130a</u> Date Approved by Staff: <u>9/6/17</u> Date on Council Agenda: <u>9/18/17</u> Notification Sent to Event Representative of Council Meeting: <u>9/11/17</u>
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied on: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

## STAFF REVIEW SECTION

Police Department: See Attached w/ revised email of 9/11/17 & 9/26/17

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Fire Department: \_\_\_\_\_

APPROVED  DENIED DATE: 9/5/17 INITIALS: JW

Public Works: Barricades will be provided to be assembled by volunteers. Parks Dept will provide logistical support.

APPROVED  DENIED DATE: 9/5/17 INITIALS: JRP

Maintenance Department: N/A

APPROVED  DENIED DATE: 9-5-17 INITIALS: KLV

GINGERBREAD SK-2017

CHECKLIST (FOR USE BY CITY PERSONNEL ONLY)	EVENT INFORMATION (FOR USE BY CITY PERSONNEL ONLY) Completed application/documentation to be sent to city staff prior to meeting. Meeting will then be scheduled with all city staff and a representative of the event.
<input checked="" type="checkbox"/> Application <input checked="" type="checkbox"/> Event Map <input type="checkbox"/> Insurance Certificate	Date Received by City Clerk's Office: <u>8/29/17</u> Scheduled Meeting Date: <u>9/15/17 11:30a</u> Date Approved by Staff: _____ Date on Council Agenda: _____ Notification Sent to Event Representative of Council Meeting: _____
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied on: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

STAFF REVIEW SECTION

Police Department: 14-15 Officer Usal  
#2,825.2 - #3,027.2

APPROVED  DENIED DATE: 9/6/17 INITIALS: CM #280

Fire Department: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Public Works: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

Maintenance Department: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

APPROVED  DENIED DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_

## Jenny Meyer

---

**From:** Chris Mattingly [mattinglyc@bellevillepolice.org]  
**Sent:** Monday, September 11, 2017 8:06 AM  
**To:** Jenny Meyer  
**Cc:** Jason Poole  
**Subject:** Re: Gingerbread 5k Run/Walk  
**Attachments:** image001.png

Jenny,

Sorry to change things up on you midstream, but I conducted a strategy session with my traffic unit to streamline the Gingerbread 5K in order to reduce redundancies, without sacrificing safety and security. The new officer totals will be set at 10 Officers for a cost between \$2,018.00 - \$2,053.60. I will forward the Officer positions to Jason Poole once I have completed building the online sign up for this event. Take care!

MSgt. Chris Mattingly #280

On Mon, Sep 11, 2017 at 7:31 AM, Jenny Meyer <[jmeyer@belleville.net](mailto:jmeyer@belleville.net)> wrote:

Jason & Debbie:

This is a follow-up to our meeting on Tuesday, September 5th in regards to the **Gingerbread 5k Run/Walk on Saturday, December 2, 2017.**

1. Event starts at 8:30am with street closures to proceed with the 5k.
2. Parks Department handles trash cans, electric through the use of a generator and street closures.
3. Public Works will post "No Parking Signs" as necessary on Friday, December 1, 2017.
6. **Public Works will drop barricades on Friday, December 1, 2017 where required for street closures. Volunteers and Parks Department will provide logistical support to close and open streets for the race.**
7. **Belleville Police will provide 14 to 15 officers for the event with an approximate cost of \$2,825.00 to \$3,027.00. Please note these fees are not being charged as this is a City event. This is only an informational tool.**

This event application will be placed on the City Council agenda for Monday, September 18, 2017, 7pm, Lindenwood University - Alan Dixon Center, [2600 West Main Street, Belleville, IL.](http://www.bellevilleil.gov)

If you have any questions, please do not hesitate to contact me, Monday through Friday, 8:00am to 5:00pm.



Public Square



**Legend**

— Gingerbread Run Route



# SPECIAL EVENT REQUEST

Notification is hereby given to the City of Belleville to request a Special Event as follows:

**PLEASE ALLOW MINIMUM (8) WEEKS FOR PROCESSING THE REQUEST. TEN (10) WEEKS PREFERRED.**

**PLEASE ALLOW THREE (3) MONTHS FOR PROCESSING IF EITHER ILLINOIS ROUTE 159 OR ANY OTHER STATE ROUTE THAT WILL BE CLOSED.**

Name(s) of sponsoring organization(s): Tavern on Main

Date of Event: Fri Oct 6 Sat Oct 7 Event Starting Time: \_\_\_\_\_ Event Ending Time: \_\_\_\_\_

Street Closure Time: Fri Oct 6 - 5PM - Midnight Sat Oct 7 - 2PM - Midnight Street Re-Open Time: Midnight

Name(s) of person(s) responsible for organizing and conducting event:

Name	Address	Phone	Email
Mark Onstitt	229 Persimmon Dr. Belleville 62226	618-530-7534	tavernonmain618@gmail.com

Number of people (100) animals (0) vehicles (0) expected to participate.

Describe the event in detail:

We will be having live music extending into the street and our crowd overflowing into street.

Specify event route from starting point to termination point (a map of the event route is required):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Are you requesting streets to be closed? If so, list specifics below and note on map of event route:

we would like to close Church  
ST. from East Main to alley.  
(1/2 block)  
During Chili Cookoff

Will either Illinois Route 159 any other State Routes be blocked (if YES, it will require approval from the Illinois Department of Transportation):  Yes  No

Does this event require any of the following?

- Trash Containers  Yes  No Number Requested: 2
- Picnic Tables  Yes  No Number Requested: 10-12
- Sanitation Vehicle and Manpower  Yes  No
- Electric (note on map location(s))  Yes  No Number Requested: \_\_\_\_\_

**A CERTIFICATE OF INSURANCE NAMING THE CITY OF BELLEVILLE AS AN ADDITIONAL INSURED IS REQUIRED IN THE AMOUNT OF \$1 MILLION DOLLARS PER PERSON AND \$2,000,000 AGGREGATE. YOUR APPLICATION WILL NOT BE CONSIDERED OR APPROVED WITHOUT RECEIPT OF THIS DOCUMENT. (City of Belleville • 101 South Illinois Street • Belleville • IL • 62220)**

**IF EITHER ROUTE 159 OR ANY OTHER STATE ROUTE WILL BE CLOSED, A CERTIFICATE OF INSURANCE NAMING ILLINOIS DEPARTMENT OF TRANSPORTATION AS AN ADDITIONAL INSURED IS REQUIRED IN THE AMOUNT OF \$1 MILLION DOLLARS. YOUR APPLICATION WILL NOT BE CONSIDERED OR APPROVED WITHOUT RECEIPT OF THIS DOCUMENT. (IL Department of Transportation • 1100 East Court Plaza Drive • Collinsville • IL • 62234)**

**Affixing my signature to this application, declares my acceptance and understanding of the guidelines and certain limitations which may apply to this event.**

M. Ott Mark Onstott  
Signature of Person Making Application Printed Name of Person Making Application

301 East Main ST. Belleville 62220  
Mailing Address

618-530-7534 tavern on main 618@gmail.com  
Phone Number E-mail

DATE OF APPLICATION: \_\_\_\_\_

Return this form (via mail or email):

City of Belleville - City Clerk's Office  
101 South Illinois Street  
Belleville, Illinois 62220  
E-mail: [jmeyer@belleville.net](mailto:jmeyer@belleville.net)  
(618) 233-6810

<b>CHECKLIST</b> <small>(FOR USE BY CITY PERSONNEL ONLY)</small>	<b>EVENT INFORMATION</b> <small>(FOR USE BY CITY PERSONNEL ONLY)</small> Completed application/documentation to be sent to city staff prior to meeting. Meeting will be scheduled with all city staff and a representative of the event.
<input type="checkbox"/> Application <input type="checkbox"/> Event Map <input type="checkbox"/> Insurance Certificate	Date Received by City Clerk's Office: _____ Scheduled Meeting Date: _____ Date Approved by Staff: _____ Date on Council Agenda: _____ Notification Sent to Event Representative of Council Meeting: _____
<input type="checkbox"/> Approved on: _____ <input type="checkbox"/> Denied on: _____ Notification Sent to Event Representative of Council Approval/Denial on: _____	

**STAFF REVIEW SECTION**

Police Department: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

APPROVED     DENIED    DATE: \_\_\_\_\_    INITIALS: \_\_\_\_\_

Fire Department: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

APPROVED     DENIED    DATE: \_\_\_\_\_    INITIALS: \_\_\_\_\_

Public Works: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

APPROVED     DENIED    DATE: \_\_\_\_\_    INITIALS: \_\_\_\_\_

Maintenance Department: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

APPROVED     DENIED    DATE: \_\_\_\_\_    INITIALS: \_\_\_\_\_

**RESOLUTION 3312**  
Illinois Department of Transportation  
PARADE OR EVENT RESOLUTION  
Effective January 1, 2017

WHEREAS, the **Optimist Club of Belleville** is sponsoring a **Santa Parade** in the City of Belleville which constitutes a public purpose;

WHEREAS, this **Santa Parade** will require the temporary closure of **IL 159 at Public Square**, a State Highway in the City of Belleville on **November 24, 2017 from 10:00 a.m. to 12:00 p.m.**;

WHEREAS, Section 4-408 of the Illinois Highway Code authorizes the Department of Transportation to issue permits to local authorities to temporarily close portions of State Highways for such public purposes.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Belleville that permission to close off **IL 159 at Public Square** on **November 24, 2017 from 10:00 a.m. to 12:00 p.m.** as above designated, be requested of the Department of Transportation.

BE IT FURTHER RESOLVED that this closure shall occur during the approximate time period between **November 24, 2017 from 10:00 a.m. to 12:00 p.m.**.

BE IT FURTHER RESOLVED that traffic from that closed portion of highway shall be detoured over routes with an all-weather surface that can accept the anticipated traffic, which will be maintained to the satisfaction of the Department and which is conspicuously marked for the benefit of traffic diverted from the State highway. (The parking of vehicles shall be prohibited on the detour routes to allow an uninterrupted flow of two-way traffic.)\* The detour route shall be as follows:

\* To be used when appropriate.

BE IT FURTHER RESOLVED, that the **City of Belleville** assumes full responsibility for the direction, protection, and regulation of the traffic during the time the detour is in effect.

BE IT FURTHER RESOLVED, that police officers or authorized flaggers shall at the expense of the **City of Belleville** be positioned at each end of the closed section and at other points (such as intersections) as may be necessary to assist in directing traffic through the detour.

BE IT FURTHER RESOLVED, that police officers, flaggers, and officials shall permit emergency vehicles in emergency situations to pass through the closed area as swiftly as is safe for all concerned.

BE IT FURTHER RESOLVED, that all debris shall be removed by the **City of Belleville** prior to reopening the State highway.

BE IT FURTHER RESOLVED, that such signs, flags, barricades, etc., shall be used by the **City of Belleville** as may be approved by the Illinois Department of Transportation. These items shall be provided by the **City of Belleville**.

BE IT FURTHER RESOLVED, that the closure and detour shall be marked according to the Illinois Manual on Uniform Traffic Control Devices.

BE IT FURTHER RESOLVED, that an occasional break shall be made in the procession so that traffic may pass through. In any event, adequate provisions will be made for traffic on intersecting highways pursuant to conditions noted above. (Note: This paragraph is applicable when the Resolution pertains to a Parade or when no detour is required.)

BE IT FURTHER RESOLVED, that to the fullest extent permitted by law, the **Optimist Club of Belleville** shall be responsible for any and all injuries to persons or damages to property, and shall indemnify and hold harmless the Illinois Department of Transportation, its officers, employees and agents from any and all claims, lawsuits, actions, costs and fees (including reasonable attorneys' fees and expenses) of every nature or description, arising out of, resulting from or connected with the exercise of authority granted by the Department which is the subject of this resolution. The obligation is binding upon the **Santa Parade** regardless of whether or not such claim, damage, loss or expense is caused in part by the act, omission or negligence of the Department or its officers, employees or agents.

BE IT FURTHER RESOLVED, that the **Optimist Club of Belleville** shall provide a comprehensive general liability policy or an additional named insured endorsement in the minimum amount of **\$1,000,000 per person and \$2,000,000 aggregate** which has the Illinois Department of Transportation, its officials, employees and agents as insureds and which protects them from all claims arising from the requested road closing. A copy of said policy or endorsement will be provided to the Department before the road is closed.

BE IT FURTHER RESOLVED, that a copy of this resolution be forwarded to the Illinois Department of Transportation, District 8, to serve as a formal request for the permission sought in this resolution and to operate as part of the conditions of said permission.

ADOPTED by the City Council of the City of Belleville this 18th day of September, 2017, A.D.

---

MUNICIPAL CLERK

APPROVED by the Mayor of the City of Belleville this 19th day of September, 2017, A.D.

ATTEST:

---

MUNICIPAL CLERK

---

MAYOR

ORDINANCE NO. 8102-2017

**AN ORDINANCE CONCERNING CHAPTER 34 (TAXATION), SECTION 34.041 (HOME RULE MUNICIPAL AND SERVICE OCCUPATION TAX) OF THE REVISED CODE OF ORDINANCES OF BELLEVILLE, ILLINOIS, AS AMENDED, BY AMENDING PORTIONS OF SECTIONS THEREOF**

THE CITY OF BELLEVILLE, ST. CLAIR COUNTY, ILLINOIS (THE "CITY"), IS A DULY ORGANIZED AND EXISTING MUNICIPALITY CREATED UNDER THE PROVISIONS OF THE LAWS OF THE STATE OF ILLINOIS.

THE CITY OF BELLEVILLE IS NOW OPERATING UNDER THE PROVISIONS OF THE ILLINOIS MUNICIPAL CODE, AS SUPPLEMENTED AND AMENDED AND AS A HOME RULE MUNICIPALITY PURSUANT TO ARTICLE VII OF THE ILLINOIS CONSTITUTION OF 1970; AND IN THE EXERCISE OF ITS HOME RULE POWERS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BELLEVILLE, ILLINOIS:

**Section 1.** That **Section 34.041** of the City's Revised Code of Ordinances shall remain as follows:

**§34.041 HOME RULE MUNICIPAL AND SERVICE OCCUPATION TAX.**

(A) *Imposition of tax.*

(1) A tax is hereby imposed upon all persons engaged in the business of selling tangible personal property, other than an item of tangible personal property titled or registered with an agency of the state's government, at retail, in the city at the rate of 3/4% of the gross receipts from such sales made in the course of such business while this code is in effect; and a tax is hereby imposed upon all persons engaged in this municipality in the business of making sales of service, at the rate of 3/4% of the selling price of all tangible personal property transferred by such serviceman as an incident to a sale of service.

(2) The imposition of these home rule taxes are in accordance with the provisions of 65 ILCS 5/8-11-1 and 5/8-11-5.

(1960 Code, § 43-2-1)

(B) *Administration.* The taxes hereby imposed, and all civil penalties that may be assessed as an incident thereto, shall be collected and enforced by the Department of Revenue of the state. The Department of Revenue shall have full power to administer and enforce the provisions of this code.

(1960 Code, § 43-2-2)

(Ord. 4740, passed 5-21-1990; Ord. 7524, passed 9-19-2011; Ord. 7704, passed 8-19-2013)

**Section 2.** That the rates set forth in Section 34.041 shall remain unless and until amended and/or repealed by this City Council.

**Section 3.** That conflicting Ordinances or pertinent portions thereof in force at the time this takes effect are hereby repealed, including but not limited to pertinent portions of Ordinance No. 7704.

**Section 4.** This Ordinance shall be in full force and effect from and after its passage, approval and publication all as provided by law.

**PASSED** by the City Council of the City of Belleville, Illinois, on this 18<sup>th</sup> day of September, 2017 on the following roll call vote:

	<u><b>AYE</b></u>	<u><b>NAY</b></u>
Joseph Hazel	_____	_____
Ken Kinsella	_____	_____
Jane Pusa	_____	_____
Michael Buettner	_____	_____
Kent Randle	_____	_____
Scott Tyler	_____	_____
Johnnie Anthony	_____	_____
Raffi Ovian	_____	_____
Edward Dintelman	_____	_____
Michelle Schaefer	_____	_____
Andrew Gaa	_____	_____
Mary Stiehl	_____	_____
Philip Elmore	_____	_____
Dennis Weygandt	_____	_____
Roger Wigginton	_____	_____
Roger Barfield	_____	_____

**APPROVED** by the Mayor of the City of Belleville, Illinois this 19<sup>th</sup> day of September, 2017.

\_\_\_\_\_  
MARK W. ECKERT  
MAYOR

ATTEST:

\_\_\_\_\_  
JENNIFER GAIN MEYER  
CITY CLERK

ORDINANCE NO. 8103-2017

**AN ORDINANCE AMENDING TITLE IX (GENERAL REGULATIONS),  
CHAPTER 92 (HEALTH AND SANITATION), SECTION 92.22 (RESIDENTIAL  
REFUSE COLLECTION FEE) OF THE REVISED ORDINANCES  
OF THE CITY OF BELLEVILLE, ILLINOIS AS AMENDED**

THE CITY OF BELLEVILLE, ST. CLAIR COUNTY, ILLINOIS (THE "CITY"), IS A DULY ORGANIZED AND EXISTING MUNICIPALITY CREATED UNDER THE PROVISIONS OF THE LAWS OF THE STATE OF ILLINOIS.

THE CITY OF BELLEVILLE IS NOW OPERATING UNDER THE PROVISIONS OF THE ILLINOIS MUNICIPAL CODE, AS SUPPLEMENTED AND AMENDED AND AS A HOME RULE MUNICIPALITY PURSUANT TO ARTICLE VII OF THE ILLINOIS CONSTITUTION OF 1970; AND IN THE EXERCISE OF ITS HOME RULE POWERS.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BELLEVILLE, ILLINOIS:

**Section 1.** That Chapter 92 (Health and Sanitation), Section 92.22 (Residential Refuse Collection Fee) is hereby amended by repealing said Section 92.22 in its entirety, and substituting in lieu thereof the following:

**§ 92.22 RESIDENTIAL REFUSE COLLECTION FEE.**

The fee for municipal collection of residential refuse shall be \$20a month per residence or apartment, except for when there is a senior citizen's discount. Seniors qualify for the discount by providing proof of being 65 years of age or older, and evidence that the subject property is occupied as the owner's principal place of residence. The senior citizen's discount rates shall be \$15a month. These fees went into effect 7-7-17.

**Section 2.** That conflicting Ordinances or pertinent portions thereof in force at the time this takes effect are hereby repealed.

**Section 3.** This Ordinance shall be in full force and effect from and after its passage, approval and publication all as provided by law.

**PASSED** by the City Council of the City of Belleville, Illinois, on this 18<sup>th</sup> day of September, 2017 on the following roll call vote:

	<u><b>AYE</b></u>	<u><b>NAY</b></u>
Joseph Hazel	_____	_____
Ken Kinsella	_____	_____
Jane Pusa	_____	_____
Michael Buettner	_____	_____
Kent Randle	_____	_____
Scott Tyler	_____	_____
Johnnie Anthony	_____	_____
Raffi Ovia	_____	_____
Edward Dintelman	_____	_____
Michelle Schaefer	_____	_____
Andrew Gaa	_____	_____
Mary Stiehl	_____	_____
Philip Elmore	_____	_____
Dennis Weygandt	_____	_____
Roger Wigginton	_____	_____
Roger Barfield	_____	_____

**APPROVED** by the Mayor of the City of Belleville, Illinois this 19<sup>th</sup> day of September, 2017.

---

MARK W. ECKERT  
MAYOR

ATTEST:

---

JENNIFER GAIN MEYER  
CITY CLERK

**ORDINANCE NO. 8104-2017**

**AN ORDINANCE AMENDING CHAPTER 76 (PARKING SCHEDULES) OF THE REVISED ORDINANCES OF THE CITY OF BELLEVILLE, ILLINOIS AS AMENDED, BY AMENDING PORTIONS OF SECTIONS THEREOF**

THE CITY OF BELLEVILLE, ST. CLAIR COUNTY, ILLINOIS (THE "CITY"), IS A DULY ORGANIZED AND EXISTING MUNICIPALITY CREATED UNDER THE PROVISIONS OF THE LAWS OF THE STATE OF ILLINOIS.

THE CITY OF BELLEVILLE IS NOW OPERATING UNDER THE PROVISIONS OF THE ILLINOIS MUNICIPAL CODE, AS SUPPLEMENTED AND AMENDED AND AS A HOME RULE MUNICIPALITY PURSUANT TO ARTICLE VII OF THE ILLINOIS CONSTITUTION OF 1970; AND IN THE EXERCISE OF ITS HOME RULE POWERS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BELLEVILLE, ILLINOIS:

**Section 1.** That **Chapter 76** is hereby amended by adding the following No Parking Areas thereunder:

**Street (Side)**

**Location**

South 38<sup>th</sup> Street (East)

From West Main Street 186 feet south.

**Section 2.** That conflicting Ordinances or pertinent portions thereof in force the time this takes effect are hereby repealed.

**Section 3.** This Ordinance shall be in full force and effect from and after its passage, approval and publication, in pamphlet, all as provided by law.

**PASSED** by the City Council of the City of Belleville, Illinois, on this \_\_\_\_\_ day of \_\_\_\_\_, 2017 on the following roll call vote:

	<u>AYE</u>	<u>NAY</u>
Joe Hazel	_____	_____
Ken Kinsella	_____	_____
Jane Pusa	_____	_____
Mike Buettner	_____	_____
Kent Randle	_____	_____
Scott Tyler	_____	_____
Johnnie Anthony	_____	_____
RaffiOvian	_____	_____
Ed Dintelman	_____	_____
Michelle "Shelly" Schaefer	_____	_____
Andy Gaa	_____	_____
Dr. Mary G. Stiehl	_____	_____
Dennis C. Weygandt	_____	_____
Phil Elmore	_____	_____
Roger Wigginton	_____	_____
Roger W. Barfield	_____	_____

APPROVED by the Mayor of the City of Belleville, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
MAYOR

ATTEST:  
  
\_\_\_\_\_  
CITY CLERK

DATE: 09/18/17

VENDOR #	NAME	DEPT.	AMOUNT
13 MOTOR FUEL TAX FUND			
194	BEELMAN LOGISTICS LLC	13-00	39,206.79
6563	CHRIST BROS. ASPHALT INC	13-00	2,953.05
EL001	ELECTRICO, INC.	13-00	470.56
FO033	FOURNIE CONTRACTING COMPANY, INC	13-00	9,581.49
JT000	JTC PETROLEUM CO	13-00	107,999.41
	**TOTAL		160,211.30
	13 MOTOR FUEL TAX FUND	GRAND TOTAL	160,211.30